



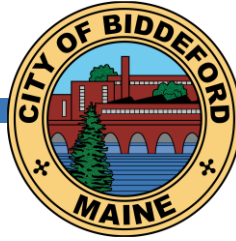
City of Biddeford
Historic Preservation Commission

August 12, 2026 at 4:30 PM

City Hall Council Chambers & Teams

[Historic Preservation Commission Meeting | Meeting-Join | Microsoft Teams](#)

1. Declaration of Quorum
2. Approval of Meeting Minutes
 - 2.a Approval of Meeting Minutes from July 22, 2026
3. Unfinished Business
 - 3.a 2026.14 HPC Review for Coastal Oaks, LLC to remodel the building at 12 Pearl Street, Tax Map 40 Lot 72, in the MSRD-1 Zone.
4. New Business
5. Other Business
6. Adjourn



HISTORIC PRESERVATION MEETING MINUTES

July 22, 2026

DRAFT

1. Declaration of Quorum/Voting Members

Meeting brought to order at 5:02 PM

Wesley Painter, Julie Larry, Erin Ware, Dan Boucher

Staff: Brad Favreau

2. Approval of Meeting Minutes

2.a. Approval of Meeting Minutes of June 10, 2026

MOTIONS: 4:00 PM

Motion-Ware-Motion to approve

Second-Larry

Vote-Motion passed unanimously

3. Unfinished Business-none

4. New Business

4.a. 2026.15 HPC Review of Aiden Lane to expand second floor at 11 Smalls Court.

- Aiden Lane represented the application.
- Would like to extend second floor to remainder of his home.
- Foundation would not increase
- Larry, materials? Roofing will match
- Siding needs to be replaced with the entire house.
- It will be vinyl siding.
- Ware asked about the roof pitch, it will match
- Larry asked about the windows. 5 new windows, no grid, double hung to match rest of house.
- Larry confirmed that this is a noncontributing structure.

MOTIONS: 4:54 PM

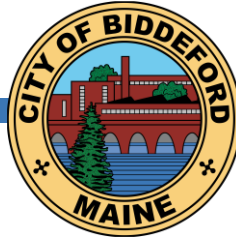
Motion-Ware-Motion to approve a Certificate of Appropriateness for Aidan Lane to construct a second floor addition at 11 Smalls Court, Tax Map 38, Lot 229, as presented, based on materials and assertions submitted and conditioned on the following: All permits must be obtaining before beginning work and the new roof line will be dropped slightly from original roof.

Second-Boucher

Vote-Motion passed unanimously

4.b. 2026.14 HPC Review of Coastal Oaks to Remodel the building at 12 Pearl Street for Residential Use.

- **King Weinstein represented the application**
- **Weinstein talked about the recent history of the building.**
- **He talked about the windows that need to be changed.**
- **Boucher asked if the Waterbed City sign would be removed-yes.**
- **Weinstein talked about the disrepair of the abutting building.**
- **Favreau talked about the change in traffic pattern in the area**
- **Larry asked him to talk about additional exterior work that will happen, no exterior insulation, the profile of the eaves will not change.**
- **Man from audience showed plans, was not introduced nor spoke from the podium.**
- **Larry, no elevator? No due to grade of the building.**
- **Boucher asked about the windows, they will be double hung windows with no grid pattern but can incorporate them if necessary.**
- **Roof top vents, none in walls**
- **Ware stated that as much as they want to see the building is put to good use, but the changes suggested are pushing the building into “non-contributing”. Changing windows is a big deal in historic integrity.**
- **The windows being added for egress**
- **Boucher asked if there was any way to keep some of the windows.**
- **Larry mentioned the difference in the installation of the windows, some inset and some maxed out.**
- **All windows will be set in, architectural submitted were erroneous.**
- **Larry asked why the windows on the North elevation are bigger than the others**
- **Larry spoke of her concerns that the applicant’s changes are changing the fundamental character of the structure and losing the rhythm of the windows in spots. A stronger preservation solution would be to have a regular pattern of windows.**
- **Ware talked about what was discussed at the site walk to deal with the window issues.**
- **Ware suggested the Commission postpone a vote until the applicant can work with the architect.**
- **Larry suggested that it would be helpful to bring a site plan to illustrate what construction or changes will be made to the outside.**
- **Larry also suggested an exterior lighting plan as well as signage proposal.**
- **Boucher talked about how this will be one of the last factory buildings to be redone.**
- **Favreau reiterated what is needed in next submission, window placement, roof top HVAC placement, potential screening, site plan, preserve any existing windows possible, exterior lighting, sign specs.**



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- Boucher would like to see grids in the windowpanes as he feels it fits the building.
- Ware feels that it would be more historically accurate to have one over one where they are not replicating existing windows.
- Larry asked what the door materials were, she would look at them in the packet.

MOTION: 4:39 PM

Motion-Ware-Motion to postpone decision for 12 Pearl Street, Tax Map 40, Lot 72 until the applicant can produce the items in the detailed list Favreau just discussed.

Second-Larry

Vote-Motion passed unanimously

- Weinstein asked about lighting specifications. He was referred to the Planning Department.

5. Other Business

- Favreau asked for comments on the Kleinfelder report
- Ware thought it was good.
- Favreau announced that we have the Historic District in Vision Appraisal.
- Favreau asked about possibly having Historic District signage like other towns.
- The Commission discussed Historic District signage.
- Favreau told the Commission that he had been fielding calls about the house on 29 Ferry. Word is out that it is going on the market, people can't wait to demolish the house. The Commission talked about the possibility of salvaging portions of the house.
- Ware asked about a table at River Jam, she won't be able to sit in the heat, but the Commission should man a table. Favreau to investigate it.

6. Adjourn

MOTIONS: 5:00 PM

Motion-Boucher-Motion to Adjourn

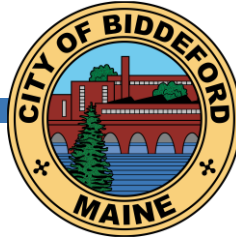
Second-Larry

Vote-Motion passed unanimously

Chair: Historic Preservation Commission

Date

These minutes are a summary and are not intended to be verbatim. Archived meetings are viewable at the City's website: www.biddefordmaine.org



HISTORIC PRESERVATION COMMISSION REPORT

TO: The Biddeford Historic Preservation Commission

FROM: Brad Favreau, Economic Development Coordinator

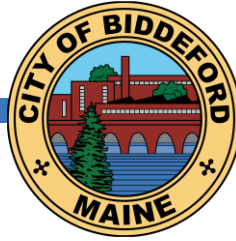
MEETING DATE: Wednesday August 12, 2026; 4:30 PM

RE: **Item 3.a: 2026.14 HPC Review for Coastal Oaks, LLC to remodel the building at 12 Pearl Street, Tax Map 40 Lot 72, in the MSRD-1 Zone.**

INTRODUCTION

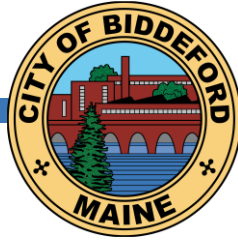
This commission voted on July 22, 2026 to postpone decision on this project pending additional information regarding the following:

- Receipt of updated exterior elevations showing the preservation of original porthole windows and showing double hung windows as discussed;
- Drawings showing rooftop HVAC equipment and any proposed screening;
- Drawings showing all proposed lighting;
- Receipt of site plan;
- Receipt of specifications for the sign "The Pearl;"
- Receipt of specific storefront specifications and elevations.

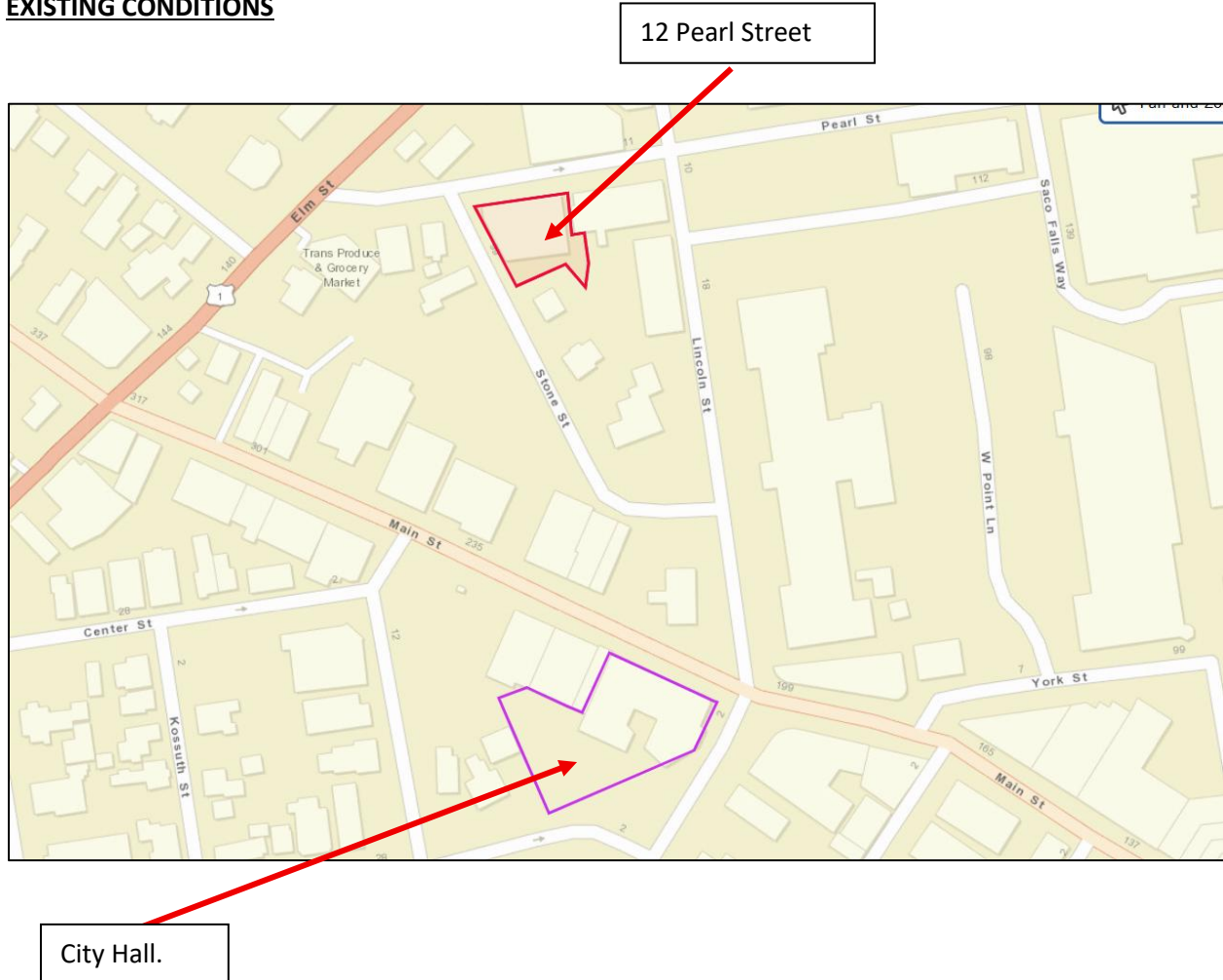


PROJECT DATA/INFORMATION

	<i>SUBJECT</i>	<i>DATA/INFORMATION</i>
1.	Applicant:	Coastal Oaks LLC 198 Saco Avenue Old Orchard Beach
2.	Owner of Property:	Same as Above
3.	Agent:	Bateman Partners
4.	Engineer/Architect:	Chuck Campbell Architect
5.	Project Location:	12 Pearl Street
6.	Project Tax Map #/Lot #:	Tax Map 40, Lot 72
7.	Existing Zoning:	MSRD-1
8.	Overlay Zoning:	Biddeford Saco Mills Historic District
9.	Contributing?	Yes
10.	National Register of Historic Places?	Yes
11.	Approximate Date of Construction	Circa 1880
12.	Existing Use:	Vacant
13.	Proposed Use:	Residential
14.	Uses in the Vicinity:	Mixed
15.	Parcel Size:	0.30 acres
16.	Front Setback Required:	None
17.	Side Setbacks Required:	None
18.	Rear Setback Requires:	None
19.	Height Requirements:	Min 2 Stories or 26 feet
20.	LDR Attachment A: Fees Paid:	Yes
21.	Historic Preservation Commission Review History:	Meeting Date July 15, 2026. Posted July 8, 2026; Mail Notices to all abutters within 100'. 12 notices sent July 8, 2026.



EXISTING CONDITIONS

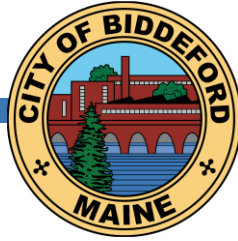


The subject building is located on the corner of Pearl Street and Stone Street in the MSRD-1 zone. Its original purpose was likely storage and warehousing.

According to the Kleinfelder Survey of 2022:

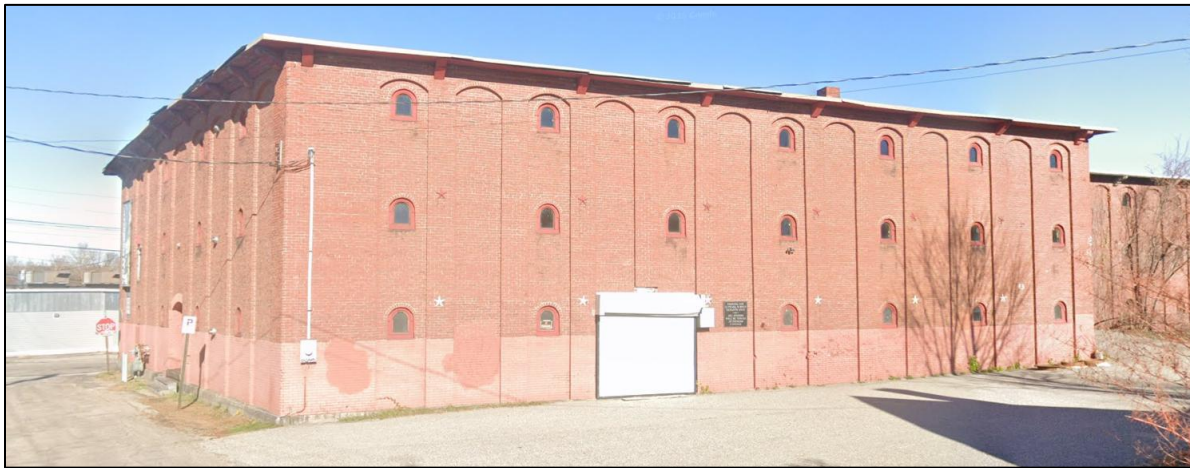
Contributes to listed-Biddeford Saco Mill HD under Architecture and Engineering. Pepperell Store House #2.

It is a contributing building within the Biddeford-Saco Mills Historic District. It is an integral part of the Mill District and possesses integrity of location, design, materials, workmanship, feeling, setting and association.



The National Register Nomination from 2008 describes the building:

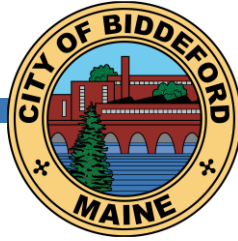
Pepperell Store House #2, c. 1880 - C 12 Pearl Street - Biddeford Pepperell Store House #2 is nearly identical to the neighboring Store House #1. It is a three-story red brick structure with a wedge-shaped plan (18 bays along Pearl Street, 13 bays along the south elevation, and 9 bays deep) and a low pitched roof. Like the neighboring manufacturing buildings, they have deep overhanging eaves supported on wide brackets. Exterior walls are divided into narrow bays by brick pilasters that rise to form arches beneath the cornice line. Its small arched windows are sparse, occurring in alternating bays only. Windows have slightly projecting brick heads, the only suggestion of architectural ornament on the building. Small arched windows of this type were used on most of the storage buildings in the district.



South Elevation from Stone Street, looking North



North elevation from Pearl Street looking South



Details of Existing Conditions



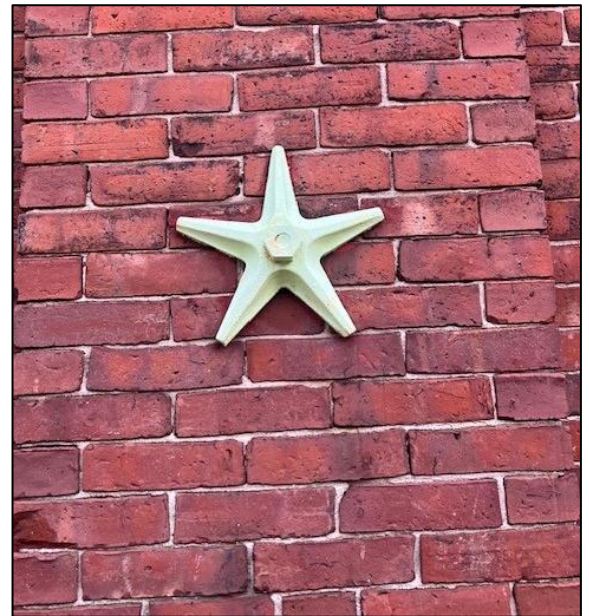
East Elevation Existing Conditions to Remain



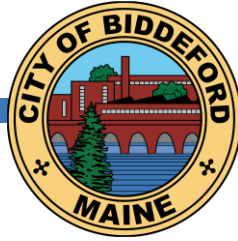
Existing Corbels (Typical)



Existing Portal Windows Measures 24" x 32" Approx.



Existing Anchor Plate (Typical)



Existing Entry Doors, West elevation



Existing Overhead Door, South Elevation



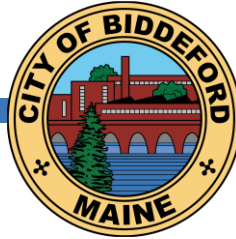
Area of Damaged Brick/Masonry



Area of Damaged Brick/Masonry



Area of Damaged Brick/Masonry



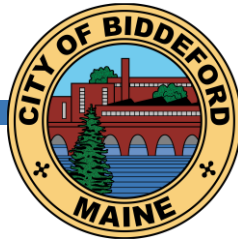
PROJECT PROPOSAL

The applicant proposes to remodel the building for residential use, with 20 new housing units in the three-story building. According to the applicant:

...Our intention is to retain the building's original aesthetic wherever possible, carefully preserving its masonry, proportions, and distinctive architectural elements so that its industrial heritage continues to be expressed in the revitalized space.

As part of our rehabilitation, the major aesthetic change will be modifying window sizes to meet current safety and egress requirements. These adjustments are being approached with sensitivity to the building's history: we plan to preserve the existing arched window openings in select areas, while introducing larger glass panels that echo the rhythm and detailing of the original fenestration. Similarly, storefront-style windows and doors will be incorporated at the ground level to enhance accessibility and visual connection to the street, balancing a historically respectful appearance with the demands of modern use.

Our overall goal is to highlight the building's past while providing a fresh, functional, and visually appealing presence for its future.

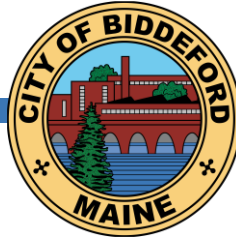


EAST ELEVATION

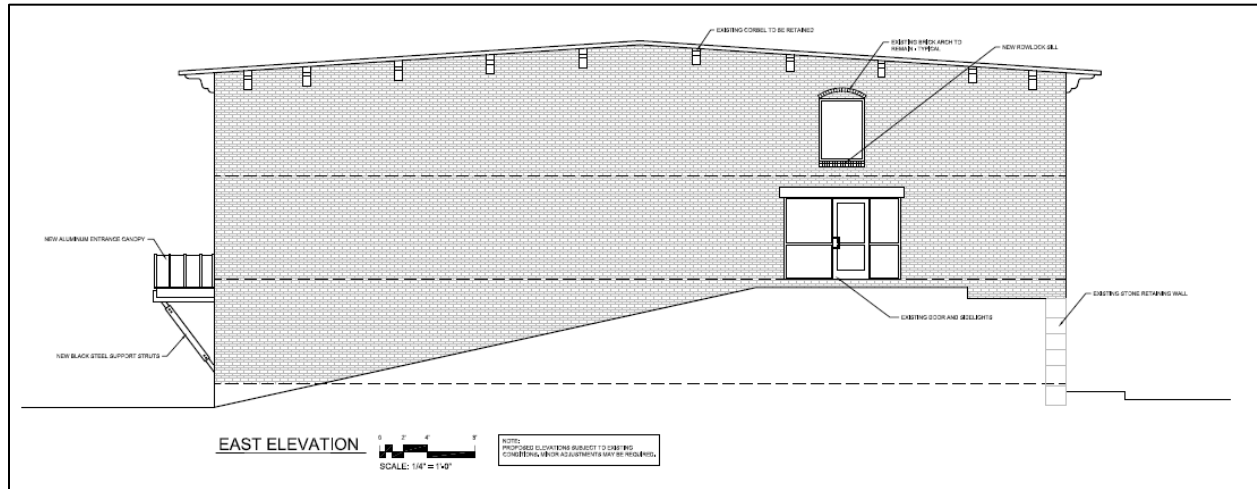
Existing Conditions



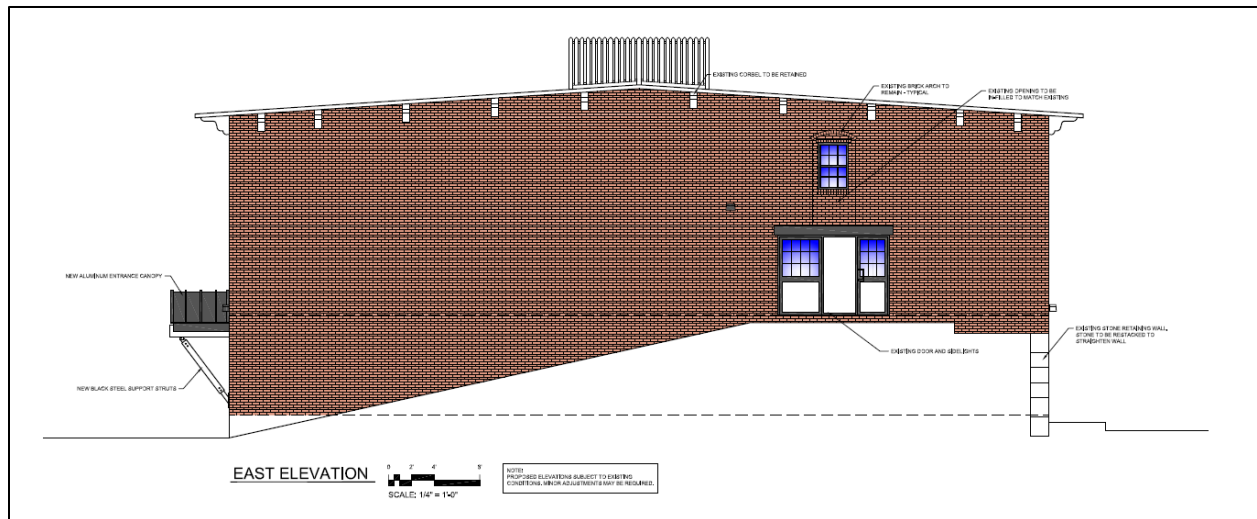
Existing East Elevation. Note existing door at top of ramp to remain.



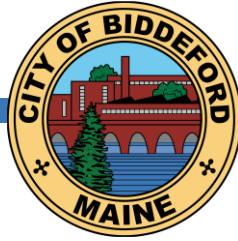
East Elevation, July 22, 2026



East Elevation, August 12, 2026



Existing door to remain. Existing window above door is partially infilled to accept double hung window. Wall pack fixture provides light.



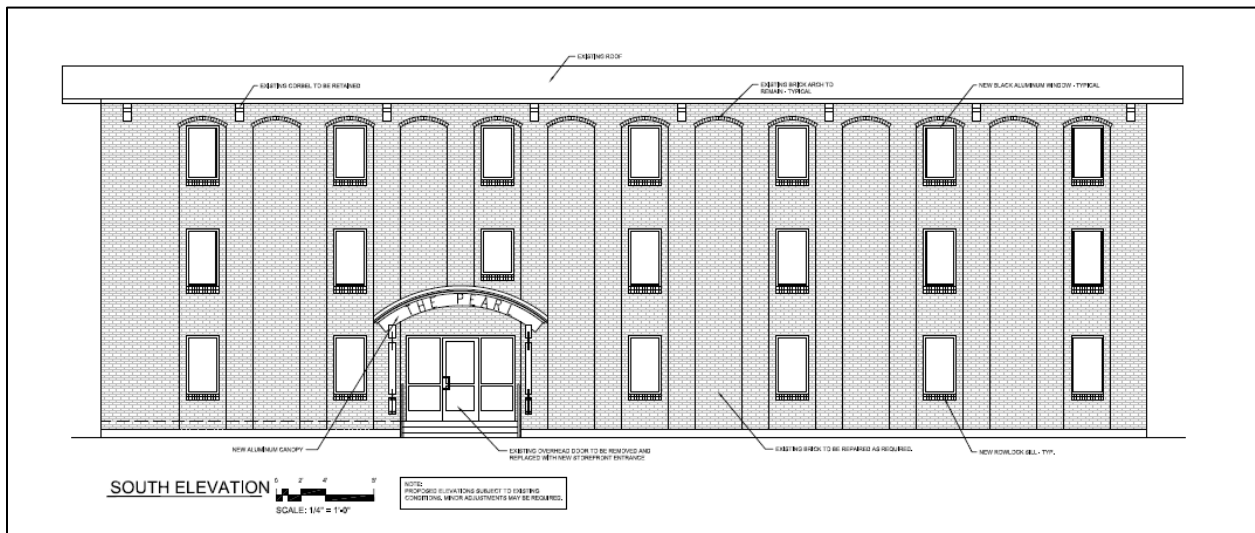
SOUTH ELEVATION

South Elevation, Existing Conditions

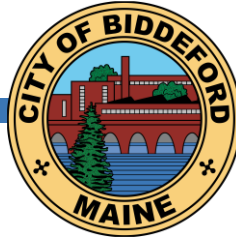


South elevation. New windows will replace portals. Storefront entry with Canopy will be installed in place of existing overhead door.

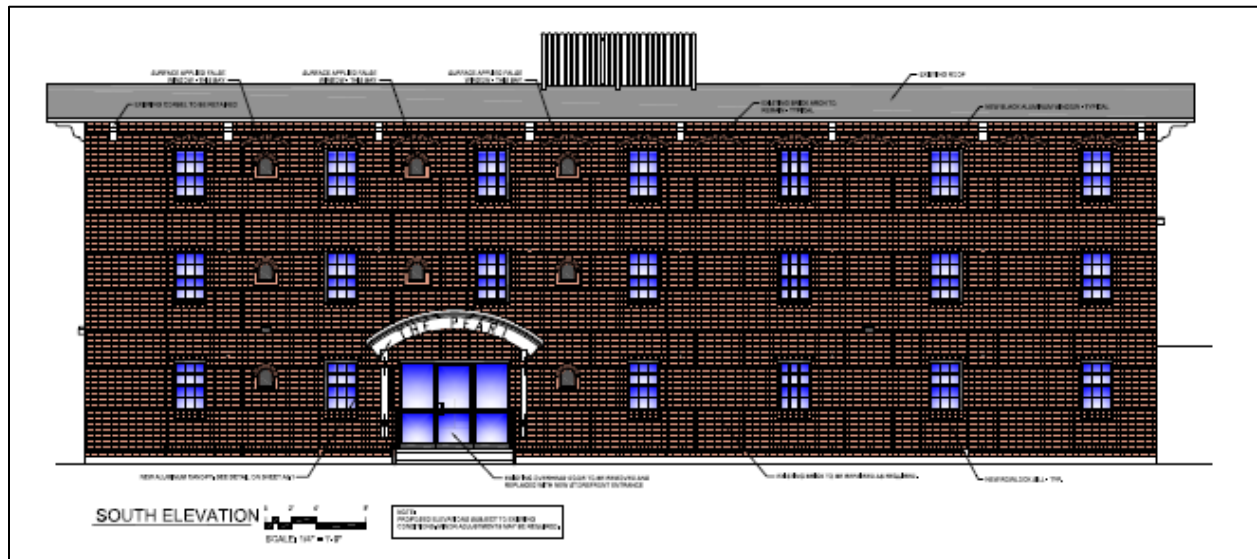
South Elevation, July 22, 2026



South Elevation: New storefront entry will replace existing overhead door;
Existing portal windows will be enlarged to fit conventional Jeld-Wen [aluminum-clad egress windows](#);
Canopy will be arched aluminum truss with standing seam metal roof;
Support brackets and struts will bolted into masonry with epoxy. See detail drawings below.



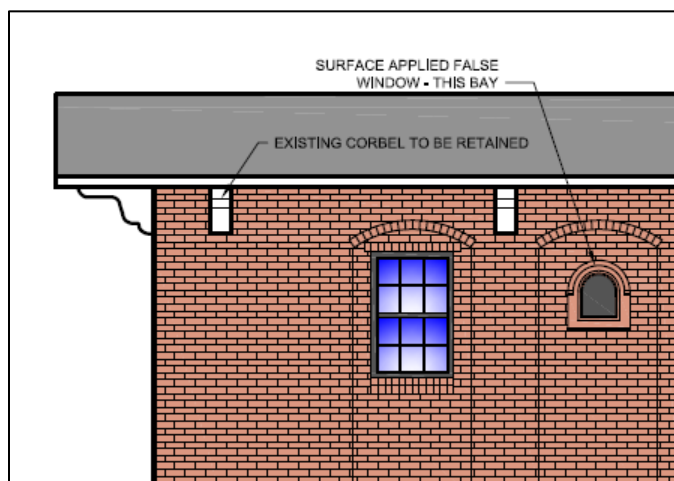
South Elevation, August 12, 2026

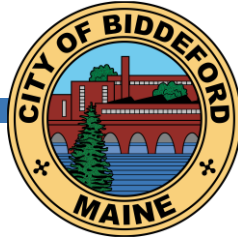


The latest version of this elevation shows double hung windows in place of previously depicted casement windows, eight applied porthole windows, and screening at rooftop HVAC. Lighting is provided by two wall pack fixtures.

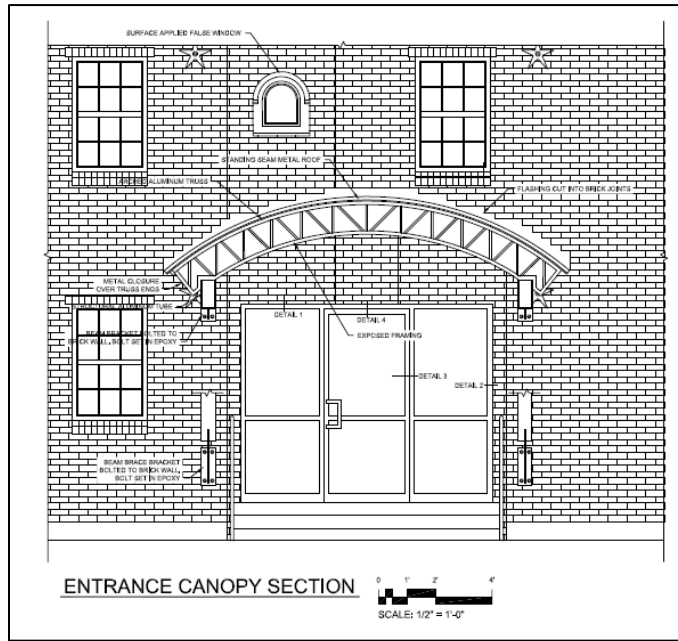
This proposal disturbs the regular rhythm of existing bays.

Detail of South Elevation:





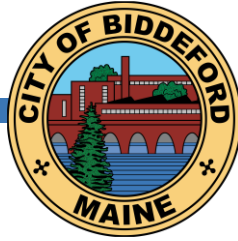
Canopy Detail. South Elevation



Detail shows applied false porthole window above canopy. Canopy is arched aluminum truss with standing seam metal roof.



The canopy will resemble this image, according to the applicant's architect.



WEST ELEVATION

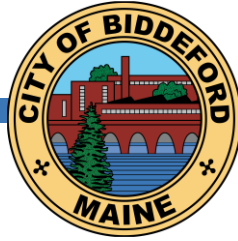
West Elevation Existing Conditions



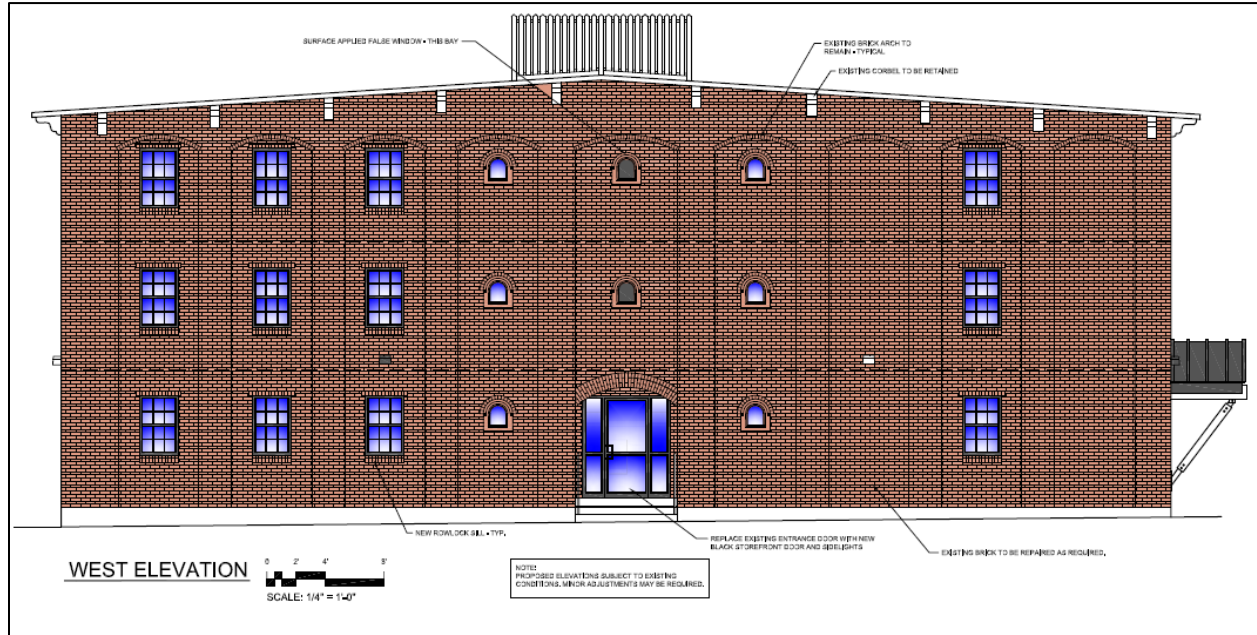
West Elevation July 22, 2026



West Elevation. Note new storefront entry at center bay and new windows installed in bays currently solid (no portals) at left side of building.



West Elevation, August 12, 2026

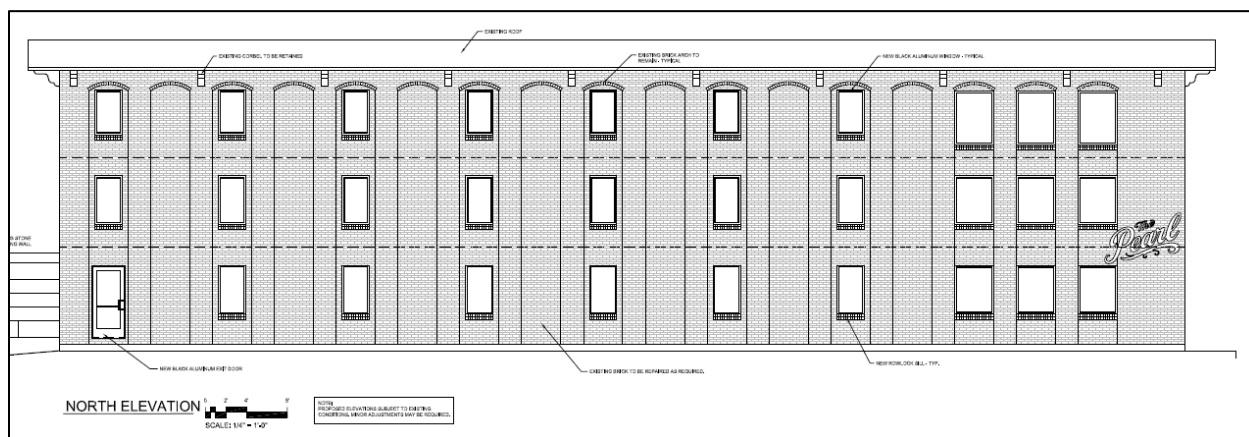


Latest elevation shows both existing porthole windows to remain and applied false porthole windows. New openings with double hung windows alters the rhythm of the façade.

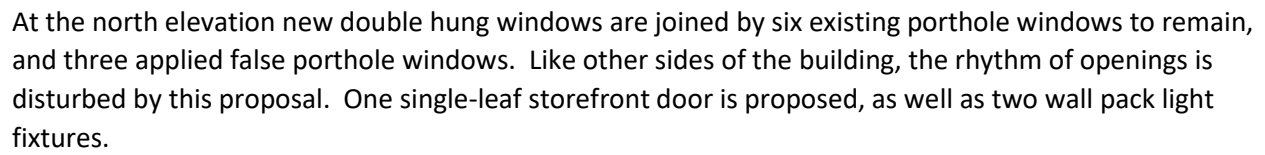
North Elevation Existing Conditions

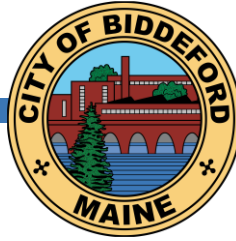


North Elevation July 22, 2026



North Elevation. Note new single-leaf door at far left. New windows will be installed at existing solid bay second from the right, and bays with existing portals.





Additional Resources

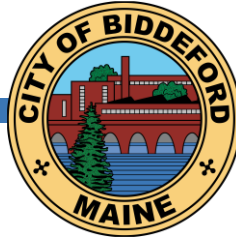
[Interpreting the Standards 14 New Openings in Secondary Elevations or Introducing New Windows in Blank Walls](#)

From SOI *Standards for the Treatment of Historic Properties*:

MASONRY: STONE, BRICK, TERRA COTTA, CONCRETE, ADOBE, STUCCO, AND MORTAR	
RECOMMENDED	NOT RECOMMENDED
Identifying, retaining, and preserving masonry features that are important in defining the overall historic character of the building (such as walls, brackets, railings, cornices, window and door surrounds, steps, and columns) and decorative ornament and other details, such as tooling and bonding patterns, coatings, and color.	Altering masonry features which are important in defining the overall historic character of the building so that, as a result, the character is diminished. Replacing historic masonry features instead of repairing or replacing only the deteriorated masonry. Applying paint or other coatings (such as stucco) to masonry that has been historically unpainted or uncoated. Removing paint from historically-painted masonry.
Stabilizing deteriorated or damaged masonry as a preliminary measure, when necessary, prior to undertaking preservation work.	Failing to stabilize deteriorated or damaged masonry until additional work is undertaken, thereby allowing further damage to occur to the historic building
Protecting and maintaining masonry by ensuring that historic drainage features and systems that divert rainwater from masonry surfaces (such as roof overhangs, gutters, and downspouts) are intact and functioning properly.	Failing to identify and treat the causes of masonry deterioration, such as leaking roofs and gutters or rising damp.
Cleaning masonry only when necessary to halt deterioration or remove heavy soiling.	Cleaning masonry surfaces when they are not heavily soiled to create a "like-new" appearance, thereby needlessly introducing chemicals or moisture into historic materials.
Carrying out masonry cleaning tests when it has been determined that cleaning is appropriate. Test areas should be examined to ensure that no damage has resulted and, ideally, monitored over a sufficient period of time to allow long-range effects to be predicted.	Cleaning masonry surfaces without testing or without sufficient time for the testing results to be evaluated.



[1] A test patch should always be done before using a chemical cleaner to ensure that it will not damage historic masonry, as in this instance, terra cotta.



WINDOWS

RECOMMENDED

NOT RECOMMENDED

Alterations and Additions for a New Use

Adding new window openings on rear or other secondary, less-visible elevations, if required by a new use. The **new openings** and the windows in them should be compatible with the overall design of the building but, in most cases, not duplicate the historic fenestration.

Changing the number, location, size, or glazing pattern of windows on primary or highly-visible elevations which will alter the historic character of the building.

Cutting **new openings** on character-defining elevations or cutting **new openings** that damage or destroy significant features.

Adding balconies at existing window openings or new window openings on primary or other highly-visible elevations where balconies never existed and, therefore, would be incompatible with the historic character of the building.

Replacing windows that are too deteriorated to repair using the same sash and pane configuration, but with new windows that operate differently, if necessary, to accommodate a new use. Any change must have minimal visual impact. Examples could include replacing hopper or awning windows with casement windows, or adding a realigned and enlarged operable portion of industrial steel windows to meet life-safety codes.

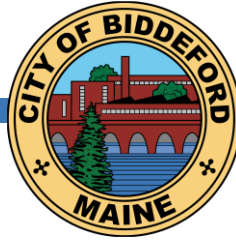
Replacing a window that contributes to the historic character of the building with a new window that is different in design (such as glass divisions or muntin profiles), dimensions, materials (wood, metal, or glass), finish or color, or location that will have a noticeably different appearance from the historic windows, which may negatively impact the character of the building.

Installing impact-resistant glazing, when necessary for security, so that it is compatible with the historic windows and does not damage them or negatively impact their character.

Installing impact-resistant glazing, when necessary for security, that is incompatible with the historic windows and that damages them or negatively impacts their character.

Using compatible window treatments (such as frosted glass, appropriate shades or blinds, or shutters) to retain the historic character of the building when it is necessary to conceal mechanical equipment, for example, that the new use requires be placed in a location behind a window or windows on a primary or highly-visible elevation.

Removing a character-defining window to conceal mechanical equipment or to provide privacy for a new use of the building by blocking up the opening.



CODE-REQUIRED WORK	
RECOMMENDED	NOT RECOMMENDED
Upgrading historic stairways and elevators to meet life-safety codes so that they are not damaged or otherwise negatively impacted.	Damaging or making inappropriate alterations to historic stairways and elevators or to adjacent features, spaces, or finishes in the process of doing work to meet code requirements.
Installing sensitively-designed fire-suppression systems, such as sprinklers, so that historic features and finishes are preserved.	Covering character-defining wood features with fire-retardant sheathing, which results in altering their appearance.
Applying fire-retardant coatings when appropriate, such as intumescent paint, to protect steel structural systems.	Using fire-retardant coatings if they will damage or obscure character-defining features.
Adding a new stairway or elevator to meet life-safety code requirements in a manner that preserves adjacent character-defining features and spaces.	Altering, damaging, or destroying character-defining spaces, features, or finishes when adding a new code-required stairway or elevator.
Using existing openings on secondary or less-visible elevations or, if necessary, creating new openings on secondary or less-visible elevations to accommodate second egress requirements.	Using a primary or other highly-visible elevation to accommodate second egress requirements without investigating other options or locations.
Placing a code-required stairway or elevator that cannot be accommodated within the historic building in a new exterior addition located on a secondary or minimally-visible elevation.	Constructing a new addition to accommodate code-required stairs or an elevator on character-defining elevations or where it will obscure, damage, or destroy character-defining features of the building, its site, or setting.
Designing a new exterior stairway or elevator tower addition that is compatible with the historic character of the building.	

On site, the building fills the entire property. On the north side of the building, the applicant will install new sidewalk. At the south side, some vegetative space is allowed in the right-of-way. See drawing C101 for details.

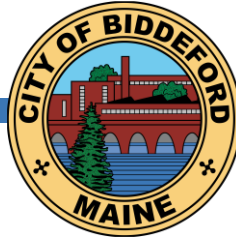
PUBLIC COMMENT

On July 8, 2026, 12 abutter notices were sent. As of June 8, 2026, no public comment has been received. For items under the heading "Old Business," no further abutter notices are required.

STAFF REVIEW

The overall visual character of this building will be altered significantly by this remodeling, with the removal of existing portal windows (a character-defining feature) and installation of new full-size windows and storefronts doors.

However, to accommodate modern residential usage, these changes are necessary to comply with building code requirements and to provide convenience to new users of the building.



The sensitivity with which these changes are made will determine the degree to which these changes successfully maintain this building's historic significance.

The following questions remain:

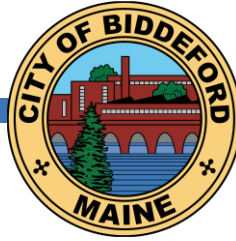
- The masonry is presumably load-bearing. Can new window openings be done safely and sensitively?
- How will existing damaged brick and mortar be repaired?
- Will work be needed at the roof? If so, what work will be needed?
- What will new lettering for "The Pearl" be?
- Will any work be needed to existing corbels?
- No information regarding the identifier signage, "The Pearl" has been provided.

STAFF RECOMMENDATION

There are several vacant buildings in and around this block of Pearl Street/Elm Street/Lincoln Street. Activation of at least one of these, 12 Pearl Street, will be a net benefit for the City. Activating this area of the Mill District will provide greater usage of the parking garage at the former MERC site.

SAMPLE MOTIONS

1. Motion to approve a Certificate of Appropriateness for Coastal Oaks, LLC to rehabilitate the building at 12 Pearl Street, Tax Map 40, Lot 72, as presented, based on materials and assertions submitted and conditioned on the following:
 - a. All permits must be obtaining before beginning work.
 - b. _____
 - c. _____
2. Motion to deny a Certificate of Appropriateness for Coastal Oaks, LLC to rehabilitate the building at 12 Pearl Street, Tax Map 40, Lot 72, as presented, based on the following:
 - a. _____
 - b. _____

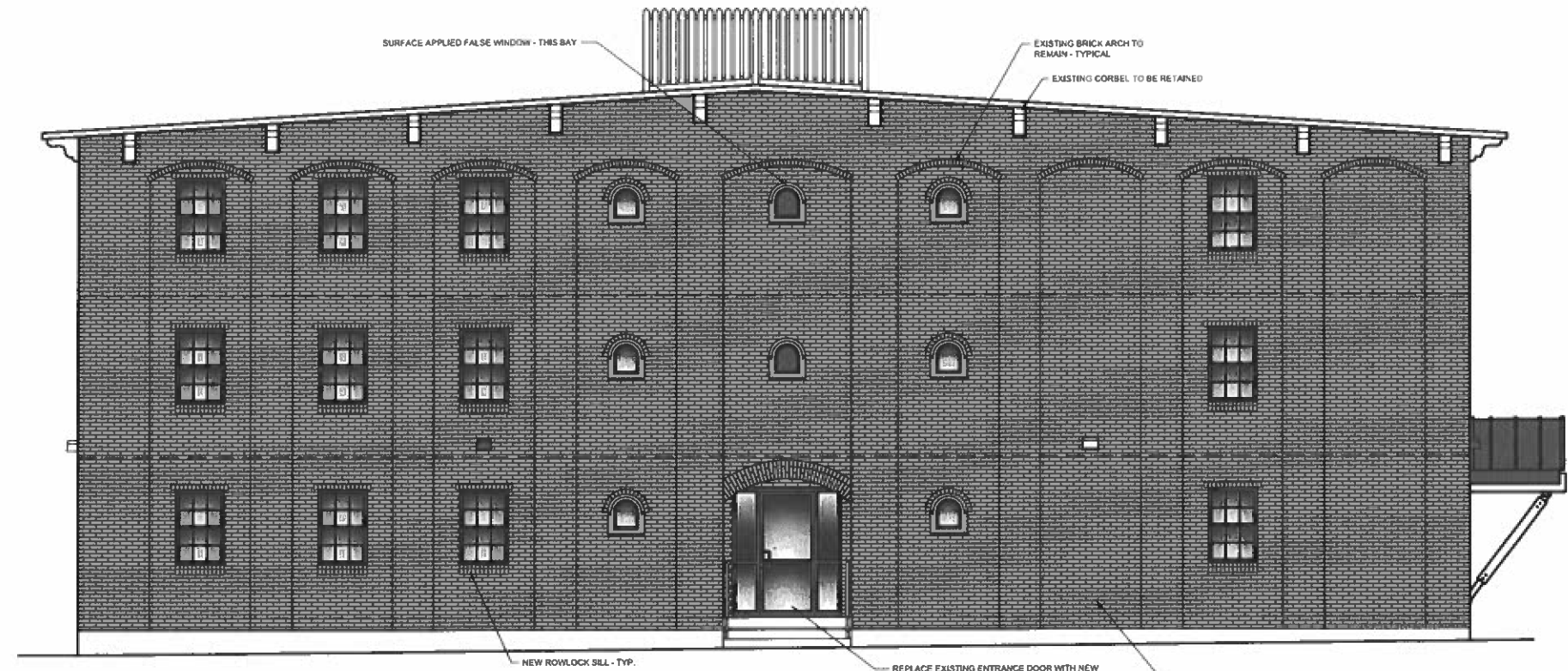


3. Motion to postpone a decision for a Certificate of Appropriateness for Coastal Oaks, LLC to rehabilitate the building at 12 Pearl Street, Tax Map 40, Lot 72, based on the following additional information or materials required for further review:

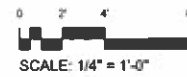
a. _____

b. _____

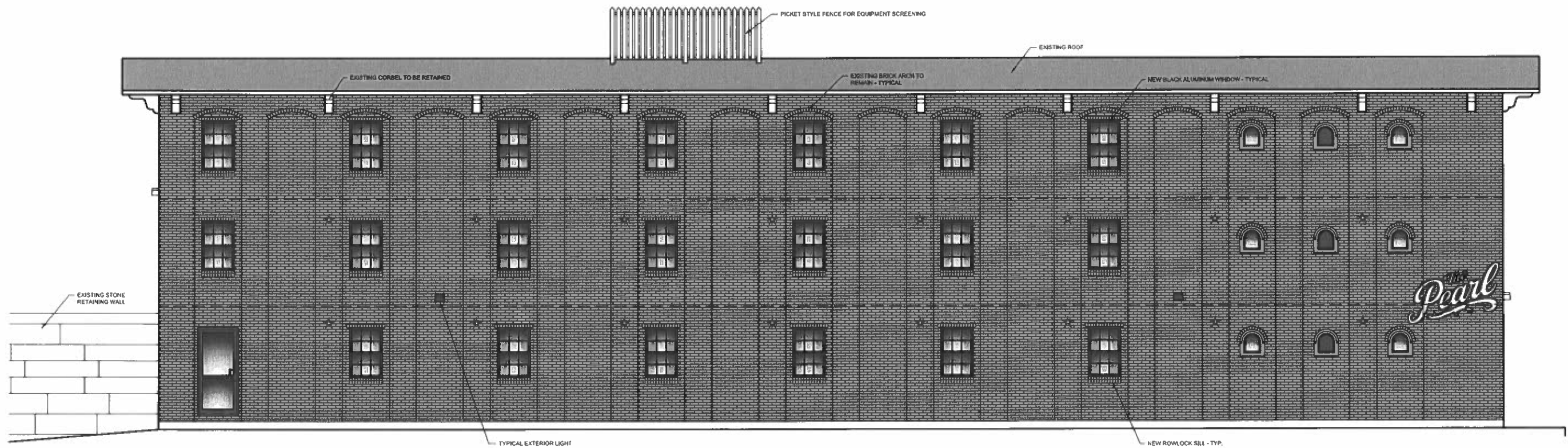
A1.1



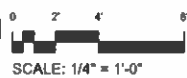
WEST ELEVATION



NOTE:
PROPOSED ELEVATIONS SUBJECT TO EXISTING
CONDITIONS. MINOR ADJUSTMENTS MAY BE REQUIRED.



NORTH ELEVATION



Chuck Campbell Architect PLLC
127 UNION ROAD
Waldoboro, Maine 04572
TEL (207)557-0448
e-mail chuck@chuckcampbellarchitect.com

PROJECT
THE PEARL

ADDRESS
12 PEARL STREET
BIDDERFORD, MAINE

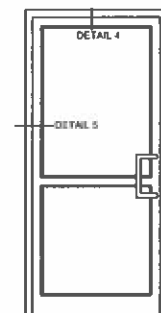
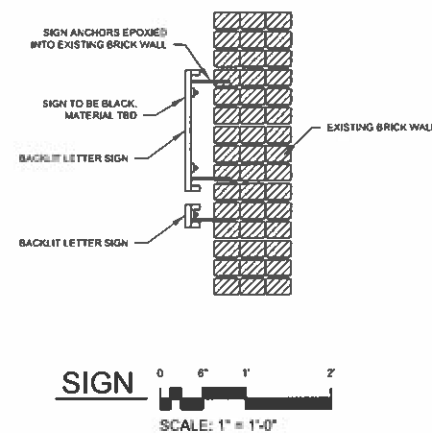
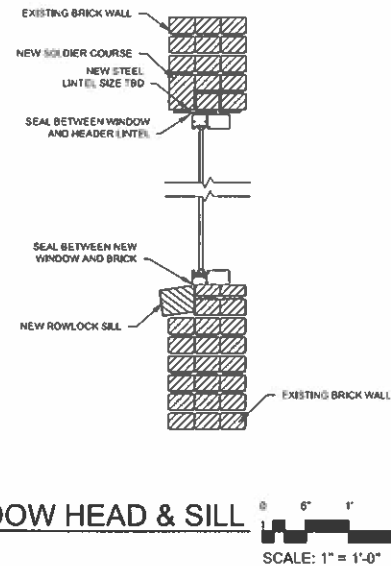
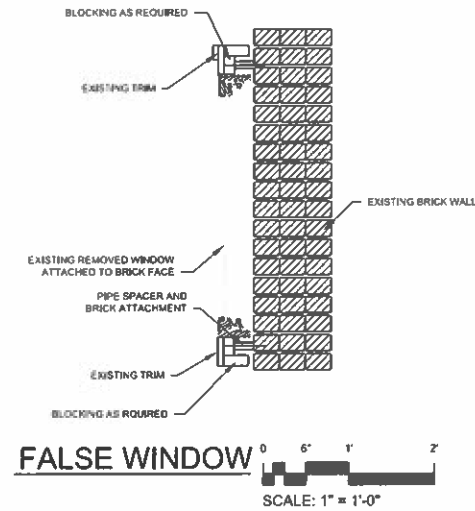
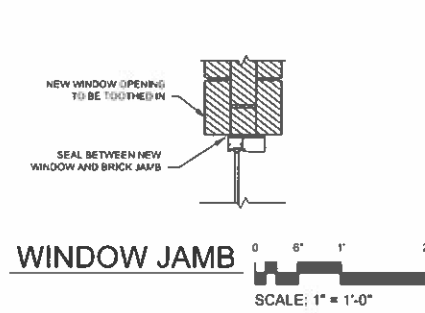
SHEET TITLE:
ELEVATIONS

SCALE:
AS INDICATED

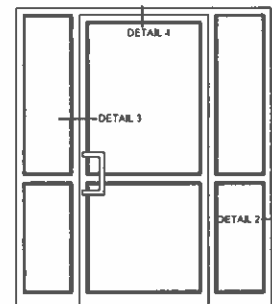
DATE:
AUGUST 04, 2026

PROJ. ID. PEARL ST.

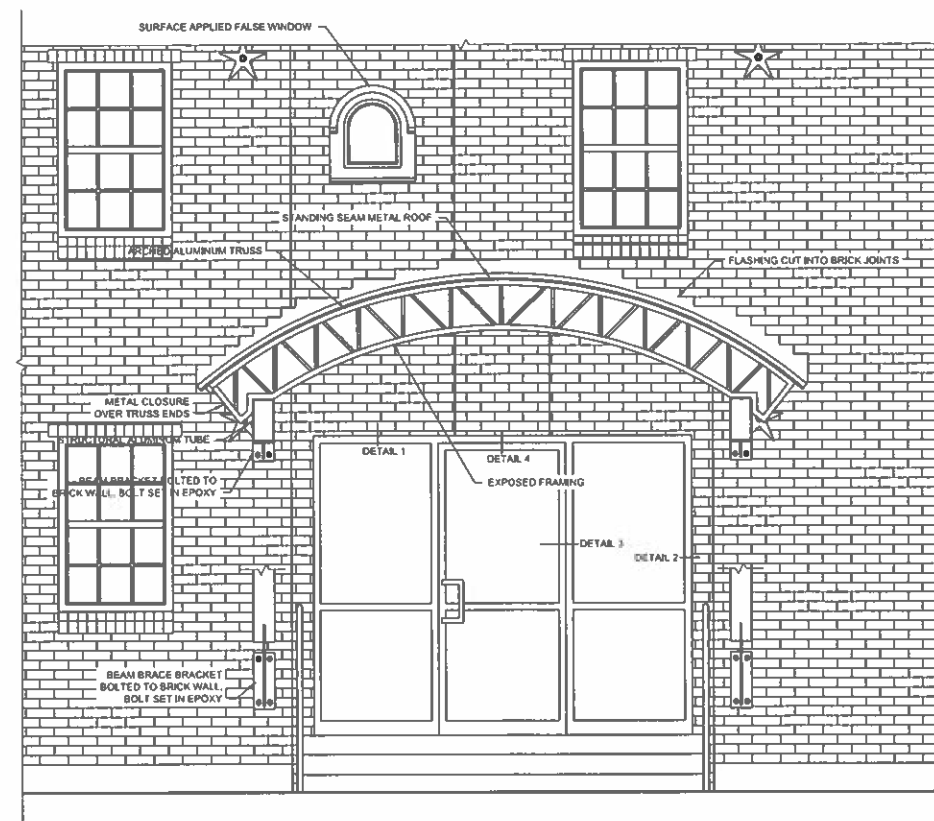
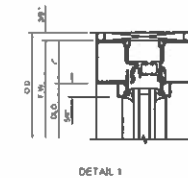
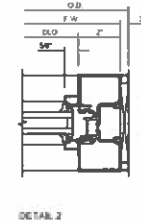
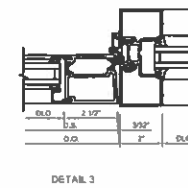
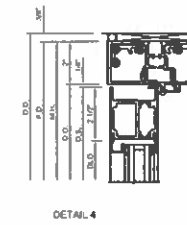
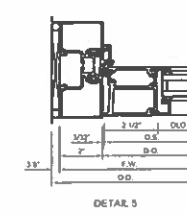
A1.2



PEARL STREET DOOR
SCALE: 1/2" = 1'-0"



STONE STREET DOOR
SCALE: 1/2" = 1'-0"



ENTRANCE CANOPY SECTION
SCALE: 1/2" = 1'-0"

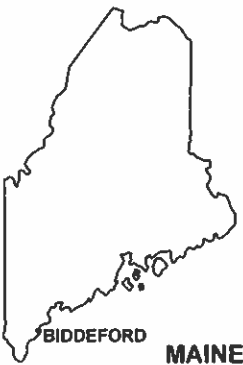
Chuck Campbell Architect PLLC
127 UNION ROAD
Waldoboro, Maine 04572
TEL (207)557-0448
e-mail chuck@chuckcampbellarchitect.com

PROJECT
THE PEARL
ADDRESS
12 PEARL STREET
BIDDERFORD, MAINE

SHEET TITLE:
DETAILS
PROJ. ID.: PEARL ST.
SCALE: AS INDICATED
DATE: AUGUST 04, 2026

12 PEARL STREET

BIDDEFORD, MAINE



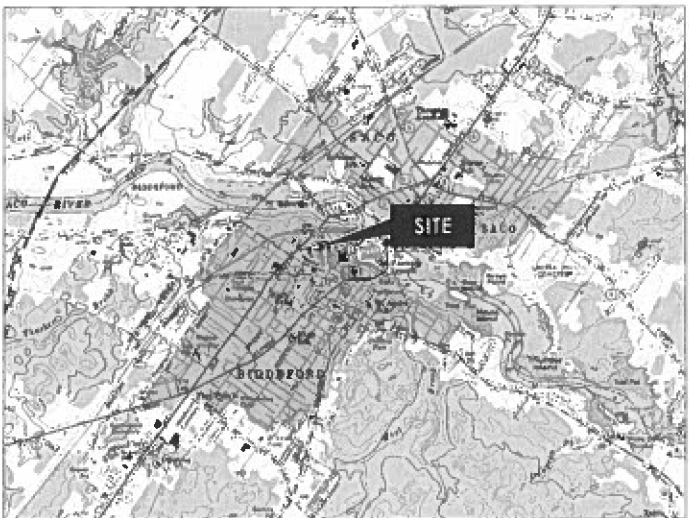
PROJECT INFORMATION

CIVIL ENGINEER
HALEY WARD
ATTN: DREW OLEHOWSKI, PE.
120 MAIN STREET, SUITE 132
SACO, MAINE 04072
T: 207.283.9151

DEVELOPER
COASTAL OAKS, LLC
ATTN: ETHAN SCOTT
198 SACO AVENUE
OLD ORCHARD BEACH, MAINE 04064

SURVEYOR
DOW & COLUMBE, INC.
13 PARK STREET
SACO, MAINE 04072
T: 207.284.4521

PERMITS AND APPROVALS:
• CITY OF BIDDEFORD SITE PLAN PERMIT
• CITY OF BIDDEFORD SUBDIVISION PERMIT



LOCATION MAP

INDEX OF DRAWINGS

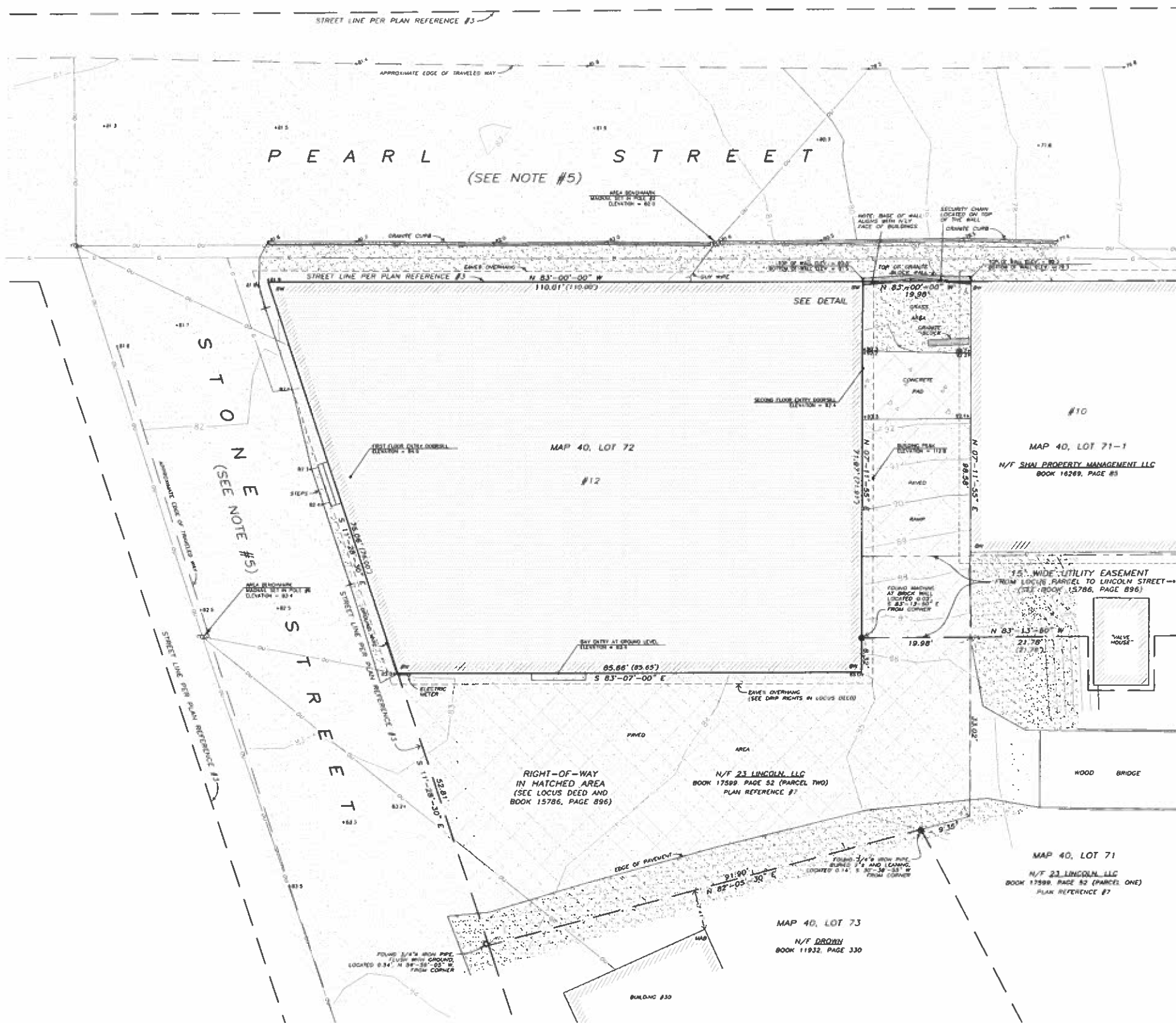
C000 COVER SHEET
V101 EXISTING CONDITIONS & DEMOLITION PLAN
C101 SITE PLAN
C501 SITE DETAILS
C502 SITE DETAILS

TAX MAP LOT	MAP 40 LOT 72
ZONE OR DISTRICT	MSRD 1
EXISTING USE	VACANT
PROPOSED USE	MULTI-UNIT RESIDENTIAL
REQUESTED VARIANCES/VARIANCES	N/A
DRAINAGE WATERSHED	SACO RIVER
WITHIN MS4 URBANIZED AREA?	YES
NATURAL RESOURCES LOCATED	N/A - NO RESOURCES PRESENT
FLOOD ZONE	N/A
ROAD(S) PROPOSED	NO
PUBLIC SEWER CONNECTION	YES
PUBLIC STORM CONNECTION	NO
LIMITS OF DISTURBANCE	19.375 SF / .44 AC ±
EXISTING IMPERVIOUS (TO BE REMOVED)	0 SF
EXISTING IMPERVIOUS (TO REMAIN)	7,055 SF
PROPOSED IMPERVIOUS	7,055 SF
TOTAL IMPERVIOUS	7,055 SF
EXISTING PERVIOUS	0 SF
PROPOSED PERVIOUS	0 SF
EXISTING BUILDING FOOTPRINT	7,055 SF
PROPOSED BUILDING FOOTPRINT	7,055 SF
ASSIGNED PLANNING BOARD NUMBER	2024.33
PROPOSED CUT/FILL VOLUME	N/A

NOT FOR CONSTRUCTION
JUNE 29, 2026

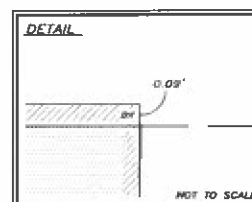


MAGNETIC, 1929 (PER PLAN REFERENCE #5)



LEGEND:

- SET IRON ROD WITH CAP (UNLESS OTHERWISE NOTED)
- UTILITY POLE
- DIAMETER
- N/F NOW OR FORMERLY
- BW BRICKWORK
- MAB METAL OVER ASBESTOS SHING
- SIGN
- CHAIN LINK FENCE
- OVERHEAD UTILITY LINES
- UNDERGROUND GAS (SEE NOTE #9)
- CONTOUR LINE
- 80.0+ SPOT ELEVATION (AT PLUS SIGN)



LOCUS DEED REFERENCES:

ATRIX NORTH REALTY LLC
TO
McMILL-McWAY, LLC
JANUARY 2, 2019 BOOK 17874, PAGE 145
SEE ALSO:
BOOK 15786, PAGE 896 (COMMON USE AREA AGREEMENT)

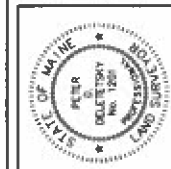
PLAN REFERENCES:

- "PLAN SHOWING LAND ON PEARL & STONE STS. BIDDEFORD-MAINE", DATED SEPTEMBER 14, 1940 BY LIBBY & DOW AND RECORDED AT YORK COUNTY REGISTRY OF DEEDS IN PLAN BOOK 15, PAGE 8.
- "PLAN SHOWING LAND ON PEARL & LINCOLN STS. BIDDEFORD, MAINE", DATED MAY 1, 1941 BY LIBBY & DOW AND RECORDED AT Y.C.R.D. IN PLAN BOOK 15, PAGE 9.
- "PLAN SHOWING LAND CONVEYED IN A PROPOSED SALE BY THE PEPPERELL MANUFACTURING CO. TO THE CITY OF BIDDEFORD", DATED JANUARY 19, 1946 BY LIBBY & DOW AND RECORDED AT Y.C.R.D. IN PLAN BOOK 14, PAGE 16.
- "PLAN SHOWING LAND ON LINCOLN STREET BIDDEFORD-MAINE", DATED MAY 3, 1949 BY LIBBY & DOW AND RECORDED AT Y.C.R.D. IN PLAN BOOK 15, PAGE 28.
- "PLAN OF LAND MADE FOR HENRY R. & MURIEL P. PELLETER BIDDEFORD-MAINE", DATED NOVEMBER 20, 1994 BY DOW & COULOMBE, INC.
- "12 PEARL STREET, BIDDEFORD, MAINE - FOR: VACATION PROPERTIES, INC. PROPOSED SITE DEVELOPMENT AND SUBDIVISION PLAN", DATED JUNE 21, 2007 AND REVISED AUGUST 15, 2007 AND SEPTEMBER 19, 2007 BY ASSOCIATED DESIGN PARTNERS INC. AND RECORDED AT Y.C.R.D. IN PLAN BOOK 324, PAGE 33.
- "PLAN SHOWING A BOUNDARY SURVEY MADE FOR THE 23 LINCOLN STREET, LLC", DATED APRIL 7, 2015, BY DOW & COULOMBE, INC.

NOTES:

- TO THE BEST OF MY KNOWLEDGE AND BELIEF, THIS SURVEY CONFORMS TO STATE OF MAINE BOARD OF LICENSURE FOR PROFESSIONAL LAND SURVEYORS' STANDARDS; CHAPTER 90, ADOPTED APRIL, 2001. EXCEPTIONS: A PROPOSED LEGAL DESCRIPTION WAS NOT PREPARED. A SURVEYOR'S REPORT WAS NOT PREPARED.
- AREA EQUALS 7.050 SQUARE FEET OR 0.161 ACRE.
- ELEVATIONS REFER TO NATIONAL GEODETIC VERTICAL DATUM OF 1929.
- INFORMATION IN PARENTHESES COPIED FROM DEED AND PLAN REFERENCES.
- ACCORDING TO A DOCUMENT FROM THE CITY CLERK'S OFFICE DATED APRIL 7, 1958 PEARL STREET AND STONE STREET WERE ACCEPTED AS PUBLIC STREETS. THE MEASUREMENTS DESCRIBED IN SAID DOCUMENT MATCH PLAN REFERENCE #3.
- ACCORDING TO THE LOCUS DEED, THE SUBJECT PARCEL WAS CONVEYED TOGETHER WITH A RIGHT OF WAY OVER A STRIP OF LAND LYING SOUTHERLY AND EASTERLY OF THE SUBJECT PARCEL, SHOWN AS THE HATCHED AREA ON THIS PLAN. SEE LOCUS DEED AND BOOK 15786, PAGE 896 FOR MORE DETAILS AND CONDITIONS.
- ACCORDING TO THE LOCUS DEED, THE SUBJECT PARCEL WAS CONVEYED TOGETHER WITH THE RIGHT OF THE EAVES ON THE BUILDING TO DRIP ON TO THE ADJOINING LAND. SEE SAID DEED FOR MORE DETAILS.
- ACCORDING TO THE LOCUS DEED AND THE "COMMON USE AREA AGREEMENT" FOUND IN DEED BOOK 15786, PAGE 896, THE SUBJECT PARCEL IS SUBJECT TO TERMS, CONDITIONS, AND EASEMENTS.
- THE UNDERGROUND GAS LINE SHOWN IS BASED ON PAINT MARKS FOUND ON THE PAVEMENT.

Date	
Revision	
No.	

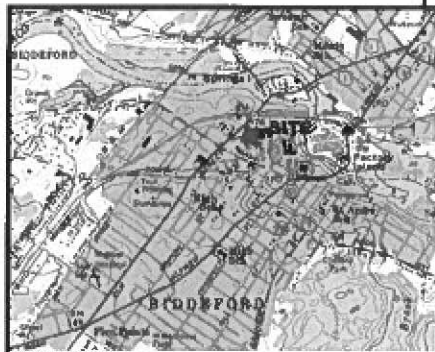


PLAN SHOWING A BOUNDARY SURVEY MADE FOR
McWILL-McWAY, LLC
(MAILING ADDRESS: C/O STEVE BLAIS, BLAIS CIVIL ENGINEERS
27 BORHAM ROAD, SUITE 207, SCARBOROUGH, ME 04074)
PARCEL LOCATED AT 12 PEARL STREET
BIDDEFORD MAINE

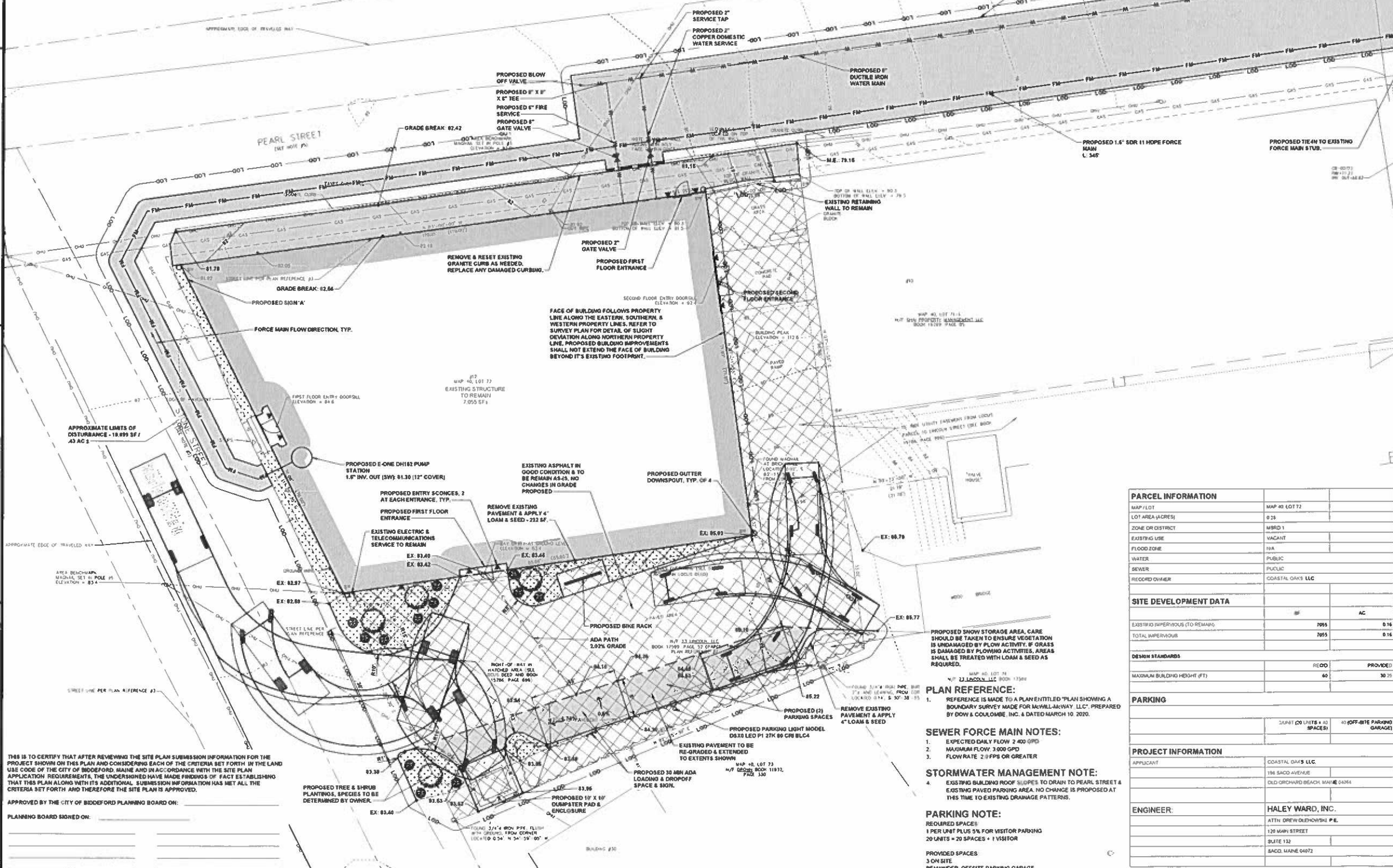
Dow & Coulombe, Inc.
Land Surveyors & Land Planners Since 1864
13 Park Street, Saco, Maine 04072
Telephone: (207)284-4521 • Fax: (207)284-4522
info@dowcoulombe.com • www.dowcoulombe.com

Date:	MARCH 10, 2020
Scale:	1" = 10'
Drawn by:	JWS
Chk'd by:	Appv'd by:
MJC	PDD
SHEET 1 OF 1	

ZONE-10
Dwg#2020-01A1S10

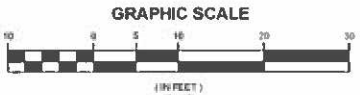


LOCATION MAP: USGS QUADRANGLE BIDDEFORD
MAPTECH USGS TOPOGRAPHIC SERIES™
SCALE: 1"=2000'
WWW.MAPTECH.COM/TOPO



LEGEND:

DESCRIPTION	EXISTING	PROPOSED
PROPERTY LINE		
BENCHMARK		
SURVEY STATION		
MANHOLE		
UTILITY POLE		
WELL		
WATER VALVE		
SEW		
CATCH BASIN		
HYDRANT		
EDGE OF GRAVEL		
EDGE OF PAVEMENT		
MAJOR FOOT CONTOUR		
MINOR FOOT CONTOUR		
WATERLINE		
STORM DRAIN		
SANITARY SEWER		
OVERHEAD UTILITIES		
UNDERGROUND UTILITIES		
CHAIN LINK FENCE		
TREE LINE		
VEGETATED AREA		
PAVED SURFACE		



PARCEL INFORMATION	
MAP LOT	MAP LOT 72
LOT AREA (ACRES)	0.25
ZONE OR DISTRICT	MBRD 1
EXISTING USE	VACANT
FLOOD ZONE	NA
WATER	PUBLIC
SEWER	PUBLIC
RECORD OWNER	COASTAL OAKS LLC
SITE DEVELOPMENT DATA	
EXISTING IMPERVIOUS (TO REMAIN)	1095 0.16
TOTAL IMPERVIOUS	1095 0.16
DESIGN STANDARDS	
MAXIMUM BUILDING HEIGHT (FT)	60 30.25
PARKING	
PROPOSED (2) PARKING SPACES	45 (OFF-SITE PARKING GARAGE)
PROJECT INFORMATION	
APPLICANT	COASTAL OAKS LLC
198 SAGO AVENUE	OLD ORCHARD BEACH, MAINE 04064
ENGINEER:	
HALEY WARD, INC.	
ATTN: DREW OLEHANSKI P.E.	
120 MAIN STREET	
SUITE 132	
SACO, MAINE 04072	

PLAN REFERENCE:
1. REFERENCE IS MADE TO A PLAN ENTITLED "PLAN SHOWING A BOUNDARY SURVEY MADE FOR MCWILL-MCWAY LLC", PREPARED BY DOW & COULOMBE, INC. & DATED MARCH 10, 2020.

SEWER FORCE MAIN NOTES:
1. EXPECTED DAILY FLOW 2,400 GPD
2. MAXIMUM FLOW 3,000 GPD
3. FLOW RATE 2.0 FPS OR GREATER

STORMWATER MANAGEMENT NOTE:
4. EXISTING BUILDING ROOF SLOPES TO DRAIN TO PEARL STREET & EXISTING PAVED PARKING AREA. NO CHANGE IS PROPOSED AT THIS TIME TO EXISTING DRAINAGE PATTERNS.

PARKING NOTE:
REQUIRED SPACES:
1 PER UNIT PLUS 5% FOR VISITOR PARKING
20 UNITS = 20 SPACES + 1 VISITOR

PROVIDED SPACES:
3 ON SITE
REMAINDER OFF-SITE PARKING GARAGE

THIS IS TO CERTIFY THAT AFTER REVIEWING THE SITE PLAN SUBMISSION INFORMATION FOR THE PROJECT SHOWN ON THIS PLAN AND CONSIDERING EACH OF THE CRITERIA SET FORTH IN THE LAND USE CODE OF THE CITY OF BIDDEFORD, MAINE AND IN ACCORDANCE WITH THE SITE PLAN APPLICATION REQUIREMENTS, THE UNDERSIGNED HAVE MADE FINDINGS OF FACT ESTABLISHING THAT THIS PLAN ALONG WITH ITS ADDITIONAL SUBMISSION INFORMATION HAS MET ALL THE CRITERIA SET FORTH AND THEREFORE THE SITE PLAN IS APPROVED.

APPROVED BY THE CITY OF BIDDEFORD PLANNING BOARD ON:

PLANNING BOARD SIGNED ON:

NOT FOR CONSTRUCTION

HALEY WARD
ENGINEERING | ENVIRONMENTAL | SURVEYING
One Merchants Plaza, Suite 201
Bangor, Maine 04401
207.899.4824

12 PEARL STREET
BIDDEFORD, MAINE

PROPOSED SITE PLAN

DATE: 2025.08.29 SCALE: 1" = 10'

DESIGNED BY: PJM CHECKED BY: DJO
PROJECT NO: 13871.013

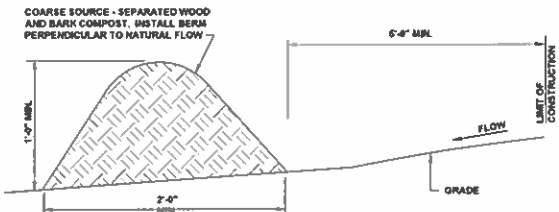
C101

GENERAL CONSTRUCTION NOTES

- CONTRACTOR TO PROVIDE OWNER AND ENGINEER WITH A WORK PLAN OUTLINING THE WORK SCHEDULE, TRAFFIC CONTROL PLAN, AND WORK AREA BARRICADE PLAN TO BE APPROVED BY THE OWNER AND ENGINEER PRIOR TO CONSTRUCTION.
- THE CONTRACTOR SHALL COORDINATE ALL CONSTRUCTION WITH THE CITY OF BIDDEFORD. CONTRACTOR SHALL NOTIFY ALL UTILITIES PRIOR TO COMMENCING WORK TO ALLOW SUFFICIENT TIME TO LOCATE AND MARK THE LOCATION OF ALL BURIED UTILITIES. CONTRACTOR SHALL ALSO CONTACT "90 SAFE", TELEPHONE NO 811 OR 888-811-SAFE. REPAIR OF ANY DAMAGED UTILITY WILL BE INCIDENTAL TO THIS PROJECT.
- THE CONTRACTOR SHALL NOTIFY THE OWNER AND ENGINEER IN WRITING OF ANY CONDITION OR OCCURRENCE THAT REPRESENTS A CHANGE IN PROJECT SCOPE. VERBAL NOTIFICATION IS REQUIRED PRIOR TO PROCEEDING WITH THE WORK OF THE PROJECT AND WRITTEN NOTIFICATION MUST BE PROVIDED. REQUESTS FOR FEE ADJUSTMENTS WILL NOT BE CONSIDERED UNLESS PROPER NOTICE IS GIVEN.
- THE CONTRACTOR SHALL PROVIDE ALL LABOR, EQUIPMENT, AND MATERIALS AS REQUIRED TO PERFORM THE WORK AS INDICATED ON THE DRAWINGS AND IN THE SPECIFICATIONS. ALL WORK SHALL BE COMPLETED IN ACCORDANCE WITH THE APPLICABLE FEDERAL, STATE AND LOCAL CODES.
- CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL NECESSARY CONSTRUCTION PERMITS. PERMIT APPLICATIONS SHALL BE SUBMITTED WITH ADEQUATE TIME SO AS NOT TO DELAY CONSTRUCTION.
- THE CONTRACTOR SHALL SUPERVISE AND INSPECT THE WORK OF THIS PROJECT IN AN EFFICIENT AND COMPETENT MANNER. THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR THE MEANS, METHODS, TECHNIQUES, SEQUENCES, AND PROCEDURES USED TO COMPLETE THE WORK. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ENSURING THE WORK IS IN ACCORDANCE WITH THE CONTRACT DOCUMENTS. A REPRESENTATIVE OF THE GENERAL CONTRACTOR SHALL BE PRESENT DURING ALL PHASES OF THE WORK.
- SAFETY IS THE RESPONSIBILITY OF THE CONTRACTOR. PERFORM ALL WORK IN ACCORDANCE WITH SAFETY STANDARDS OF APPLICABLE LAWS, BUILDING AND CONSTRUCTION CODES, THE "MANUAL OF ACCIDENT PREVENTION IN CONSTRUCTION" PUBLISHED BY THE ASSOCIATED GENERAL CONTRACTORS OF AMERICA, THE REQUIREMENTS OF THE OCCUPATIONAL SAFETY AND HEALTH ACT OF 1970, AND THE REQUIREMENTS OF TITLE 9 OF THE CODE OF FEDERAL REGULATIONS, PART 1926, "SAFETY AND HEALTH REGULATIONS FOR CONSTRUCTION".
- THE LOCATIONS OF ALL PROPERTY LINES AND RIGHT OF WAYS ARE APPROXIMATE (SHOWN FOR REFERENCE ONLY). UNLESS NOTED OTHERWISE, PROPERTY LINES AND RIGHT OF WAYS SHOWN ARE NOT INTENDED TO REPRESENT LEGAL BOUNDARIES.
- THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING TOPOGRAPHY AND EXISTING CONDITIONS PRIOR TO CONSTRUCTION.
- CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING PIPE SIZES, INVERTS, AND LOCATIONS, AND SHALL INCLUDE IN SUBMITTAL PRIOR TO ORDERING.
- LAYOUT OF THE PROJECT IS THE RESPONSIBILITY OF THE CONTRACTOR AND SHALL BE APPROVED BY THE ENGINEER. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL GRADING AND LAYOUT. LAYOUT SHOULD BE PERFORMED WITH SURVEY EQUIPMENT AND OVERSEEN BY A LICENSED SURVEYOR. A CAD FILE WILL BE AVAILABLE TO THE CONTRACTOR.
- THE WORK SHALL INCORPORATE EROSION CONTROL MEASURES WHICH ARE COMPLIANT WITH THE LATEST VERSION OF "MAINE EROSION AND SEDIMENT CONTROL HANDBOOK FOR CONSTRUCTION: BEST MANAGEMENT PRACTICES".
- CONTRACTOR SHALL BE REQUIRED TO PROVIDE DUST CONTROL FOR PROJECT WHICH CAN INCLUDE, BUT IS NOT LIMITED TO, WATER AND CALCIUM CHLORIDE. COST IS INCIDENTAL TO THE PROJECT.
- RESTRICT ACCESS TO SITE THROUGH THE USE OF APPROPRIATE SIGNAGE, GATES, BARRIERS, FENCES, ETC. SITE SHALL BE LEFT WITH APPROPRIATE SAFETY MEASURES IN PLACE DURING NON-WORKING HOURS. NO TRENCH SHALL BE LEFT OPEN DURING NON-WORKING HOURS. SITE SAFETY IS THE RESPONSIBILITY OF CONTRACTOR, DURING BOTH WORKING AND NON-WORKING HOURS.
- HOURS FOR THE PROJECT WILL BE MONDAY THROUGH FRIDAY, FROM 7:30 AM TO 7:30 PM, UNLESS OTHERWISE AUTHORIZED BY THE OWNER.
- CONTRACTOR SHALL PERFORM ALL CONSTRUCTION ACTIVITIES RELATIVE TO THE PROJECT WITHIN THE CONFINES OF THE RIGHT OF WAY OF THE STREETS AND UTILITY EASEMENTS. ANY ACTIVITY, MATERIAL STORAGE ETC. TAKING PLACE ON PRIVATE PROPERTY SHALL BE WITH THE EXPRESS WRITTEN PERMISSION OF THE OWNER AND PROPERTY OWNER AND COORDINATED WITH THE OWNER. WORK OUTSIDE OF THESE LIMITS MAY BE REQUIRED. THE OWNER WILL COORDINATE SECURING EASEMENTS FOR THIS WORK.
- DO NOT PARK, IMPEDE ACCESS TO, OR STORE EQUIPMENT ON ADJACENT TOWN OR PRIVATELY OWNED LOTS, UNLESS PERMISSION HAS BEEN GRANTED IN WRITING BY TOWN AND/OR LAND OWNER.
- THE CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS TO PREVENT EQUIPMENT FLUIDS FROM REACHING ANY WATER COURSE. ANY UNDESIRABLE FLUID DISCHARGES SHALL BE IMMEDIATELY CLEANED FROM THE WATERS USING WHATEVER MEANS NECESSARY, AS DETERMINED BY THE ENGINEER.
- ALL FRESH SURFACES SHALL BE INSTALLED TO PROMOTE POSITIVE DRAINAGE. IN NO WAY SHALL THE NEW FRESH SURFACES CREATE DRAINAGE PROBLEMS THAT DID NOT EXIST PRIOR TO CONSTRUCTION.
- RESTORE ALL AREAS DISTURBED BY CONTRACTORS OPERATION TO ORIGINAL CONDITIONS (GRAVEL, PAVEMENT, GRASS, ETC.) UNLESS NOTED OTHERWISE ON THE PLANS. RESTORATION OF ROADS, CURBS, PARKING SURFACES AND LAWNS DAMAGED BY THE CONTRACTOR SHALL BE INCIDENTAL TO THE PROJECT.
- ALL MATERIALS SCHEDULED FOR REMOVAL SHALL BE DISPOSED OF IN A LEGAL MANNER BY THE CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER. THE OWNER HAS THE FIRST RIGHT AND REFUSAL FOR ANY DEMOLITION MATERIALS.
- DISPOSAL OF SURPLUS SOIL MATERIAL SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR. SURPLUS MATERIAL SHALL NOT BE DISPOSED OF ON THE PROJECT SITE. DISPOSAL SHALL BE MADE ONLY AT WASTE AREAS WHICH ARE LICENSED TO ACCEPT SUCH MATERIALS, UNLESS THE MATERIAL IS ACCEPTABLE FOR USE AS FILL IN OTHER AREAS OF THE PROJECT. THE OWNER HAS THE FIRST RIGHT AND REFUSAL FOR ANY SURPLUS SOIL MATERIALS.
- CONTRACTOR SHALL MAINTAIN TRAFFIC IN A SAFE MANNER AT ALL TIMES DURING CONSTRUCTION. MDOT TRAFFIC CONTROL AND SIGNAGE REQUIREMENTS SHALL APPLY ON BUZZELL ROAD. THE CONTRACTOR SHALL MAKE EVERY EFFORT TO MAINTAIN CONTINUOUS TRAFFIC FLOW DURING CONSTRUCTION. THE ROADS SHALL NOT BE CLOSED TO TRAFFIC WITHOUT PERMISSION FROM THE CITY OF BIDDEFORD.
- DRIVEWAY APRONS SHALL BE PAVED TO MATCH PROPOSED ROADWAY. APRON DIMENSIONS SHALL BE APPROVED BEFORE PAVING. APRON AREAS SHOWN ON THE PLANS ARE APPROXIMATE.
- PROPERLY PROTECT AND DO NOT DISTURB PROPERTY IRONS AND MONUMENTS. IF DISTURBED, THE PROPERTY MONUMENT WILL BE RESET AT THE CONTRACTOR'S EXPENSE, BY A REGISTERED LAND SURVEYOR APPROVED BY THE ENGINEER.
- THE OWNER REQUESTS THAT UPON COMPLETION OF CONSTRUCTION, A COMPLETE SET OF "AS-BUILT" DRAWINGS THAT REFLECT ANY AND ALL MODIFICATIONS WITHIN THE PUBLIC RIGHT OF WAY BE SUBMITTED TO THE CITY OF BIDDEFORD. THESE DRAWINGS SHALL BE SUBMITTED IN BOTH DIGITAL (CAD) DRAWING AND HARD COPY FORMAT. A CAD FILE WILL BE AVAILABLE TO THE CONTRACTOR.

EROSION CONTROL NOTES

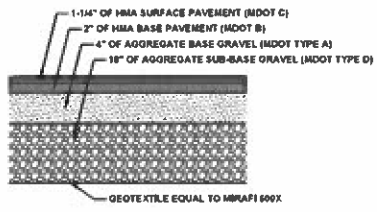
- ALL SEDIMENTATION AND EROSION CONTROL MEASURES SHALL BE IN ACCORDANCE WITH THE MAINE EROSION AND SEDIMENTATION CONTROL BMPs, PUBLISHED BY THE BUREAU OF LAND AND WATER QUALITY, MAINE DEPARTMENT OF ENVIRONMENTAL PROTECTION LATEST EDITION.
- SILT FENCE WILL BE INSPECTED, REPLACED AND/OR REPAIRED IMMEDIATELY FOLLOWING ANY SIGNIFICANT RAINFALL OR SNOW MELT OR LOSS OF SERVICEABILITY DUE TO SEDIMENT ACCUMULATION AT A MINIMUM ALL EROSION CONTROL DEVICES WILL BE OBSERVED WEEKLY.
- DURING THE CONSTRUCTION PHASE, INTERCEPTED SEDIMENT WILL BE RETURNED TO CONSTRUCTION SITE.
- SEDIMENT CONTROL DEVICES SHALL REMAIN IN PLACE AND BE MAINTAINED BY THE CONTRACTOR UNTIL AREAS UPSLOPE ARE STABILIZED BY A SUITABLE GROWTH OF GRASS. ONCE A SUITABLE GROWTH OF GRASS HAS BEEN OBTAINED, ALL TEMPORARY EROSION CONTROL ITEMS SHALL BE REMOVED BY THE CONTRACTOR. ANY SEDIMENT DEPOSITS REMAINING IN PLACE AFTER THEY ARE REMOVED SHALL BE DRESSED TO CONFORM WITH THE EXISTING GRADE, PREPARED, SEED, AND MULCHED IMMEDIATELY.
- ALL DISTURBED AREAS WILL BE SEED WITH 2.5 LBS. RED FESCUE AND 0.5 LBS. RYE GRASS PER 1,000 SQUARE FEET AND MULCHED AT A RATE OF 10 LBS. PER 1,000 SQUARE FEET OR EQUIVALENT APPLICATION OF SEED AND MULCH.
- A SUITABLE BINDER SUCH AS CURASOL OR TERRITACK WILL BE USED ON THE HAY MULCH FOR WIND CONTROL.
- IF FINAL SEEDING OF DISTURBED AREAS IS NOT COMPLETED BY SEPTEMBER 15th OF THE YEAR OF CONSTRUCTION THEN ON THAT DATE THESE AREAS WILL BE GRADED AND SEED WITH WINTER RYE AT THE RATE OF 112 POUNDS PER ACRE OR 3 POUNDS PER 1,000 SQUARE FEET. THE RYE SEEDING WILL BE PRECEDED BY AN APPLICATION OF 3 TONS OF LIME AND 800 LBS. OF 10-20-20 FERTILIZER OR ITS EQUIVALENT MULCH WILL BE APPLIED AT A RATE OF 90 POUNDS PER 1,000 SQUARE FEET.
- IF THE RYE SEEDING CANNOT BE COMPLETED BY OCTOBER 1st OR IF THE RYE DOES NOT MAKE ADEQUATE GROWTH BY DECEMBER 1st, THEN ON THOSE DATES, HAY MULCH WILL BE APPLIED AT 150 POUNDS PER 1,000 SQUARE FEET.
- ALL CATCH BASINS ARE TO BE PROTECTED BY STRAW BALE OR SILT FENCE IN ACCORDANCE WITH SECTION B-3 STORM DRAINILEY PROTECTION OF THE MAINE BMP HANDBOOK. SURROUNDING AREAS CAN BE EXCAVATED OR LEFT LOW AS A SEDIMENT TRAP. CURB HILLS SHALL BE PROTECTED BY CUTTERSLOPS, OR APPROVED EQUIVALENT.
- INTERIOR SILT FENCES ALONG CONTOUR DIVIDING FLAT AND STEEP SLOPES. AREAS WITH DIFFERENT DISTURBANCE SCHEDULES, AROUND TEMPORARY STOCKPILES OR IN OTHER UNSPECIFIED POSSIBLE CIRCUMSTANCES SHOULD BE CONSIDERED BY THE CONTRACTOR. THE INTENT OF SUCH INTERIOR SILT FENCE IS TO LIMIT SEDIMENT TRANSPORT WITHIN THE SITE TOWARD THE PROTECTED CATCH BASIN PILES TO MINIMIZE SEDIMENT REMOVAL REQUIRED BY THE EROSION CONTROL NOTE 9 PROTECTIONS AND EXTEND LIFE OF SUCH DEVICES.
- THE CONTRACTOR SHALL PROVIDE A SEDIMENT BASIN FOR ALL WATER PUMPED FROM EXCAVATIONS. BASIN SHALL BE DESIGNED AND CONSTRUCTED IN ACCORDANCE WITH THE "MAINE EROSION AND SEDIMENT HANDBOOK FOR CONSTRUCTION: BEST MANAGEMENT PRACTICES". THE CONTRACTOR SHALL SUBMIT FOR REVIEW/ APPROVAL PRIOR TO BEGINNING ANY PROJECT WORK.
- DEWATERING
A DEWATERING PLAN IS NEEDED TO ADDRESS EXCAVATION DEWATERING FOLLOWING HEAVY RAINFALL EVENTS OR WHERE THE EXCAVATION MAY INTERCEPT THE GROUNDWATER TABLE DURING CONSTRUCTION. THE COLLECTED WATER NEEDS TREATMENT AND A DISCHARGE POINT THAT WILL NOT CAUSE DOWNGRADE EROSION AND OFFSITE SEDIMENTATION OR WITHIN A RESOURCE. PLEASE FOLLOW THE DETAILS OF SUCH A PLAN.
- BASIC STANDARDS - EROSION CONTROL MEASURES
MINIMUM EROSION CONTROL MEASURES WILL NEED TO BE IMPLEMENTED AND THE CONTRACTOR WILL BE RESPONSIBLE TO MAINTAIN ALL COMPONENTS OF THE EROSION CONTROL PLAN UNTIL THE SITE IS FULLY STABILIZED. HOWEVER, BASED ON SITE AND WEATHER CONDITIONS DURING CONSTRUCTION, ADDITIONAL EROSION CONTROL MEASURES MAY NEED TO BE IMPLEMENTED. ALL AREAS OF INSTABILITY AND EROSION MUST BE REPAIRED IMMEDIATELY DURING CONSTRUCTION AND NEED TO BE MAINTAINED UNTIL THE SITE IS FULLY STABILIZED OR VEGETATION IS ESTABLISHED. A CONSTRUCTION LOG MUST BE MAINTAINED FOR THE EROSION AND SEDIMENTATION CONTROL INSPECTIONS AND MAINTENANCE.
- CONTRACTOR WILL BE RESPONSIBLE FOR FOLLOWING PROCEDURES FOUND IN THE "MAINE EROSION AND SEDIMENT CONTROL PRACTICES FIELD GUIDE FOR CONTRACTORS" (PUBLISHED MARCH 2016). THE PUBLICATION CAN BE FOUND AT: [HTTP://WWW.MAINE.GOV/DEP/LAND/EROSIONCONTROL/BMP/INDEX.HTML](http://www.maine.gov/dep/land/erosioncontrol/bmp/index.html)



NOTE:
THE EROSION CONTROL MIX MUST BE WELL-GRADED WITH AN ORGANIC COMPONENT THAT IS BETWEEN 90 AND 100% OF DRY WEIGHT, AND THAT IS COMPOSED OF FIBROUS AND ELONGATED FRAGMENTS. THE MINERAL PORTION OF THE MIX SHOULD BE NATURALLY INCLUDED IN THE PRODUCT WITH NO LARGER ROCKS (>4") OR LARGE AMOUNTS OF FIBES (BLS AND CLAYS). IN STUMP GRINDING, THE MINERAL SOIL ORIGINATES FROM THE ROOT BALL AND SHOULD NOT BE REMOVED BEFORE GRINDING. THE MIX SHOULD BE FREE OF REFUSE, MATERIAL TOXIC TO PLANT GROWTH OR UNSUITABLE MATERIAL (BARK CHIPS, GROUND CONSTRUCTION DEBRIS OR REPROCESSED WOOD PRODUCTS).

EROSION CONTROL MIX BERM DETAILS

NTS



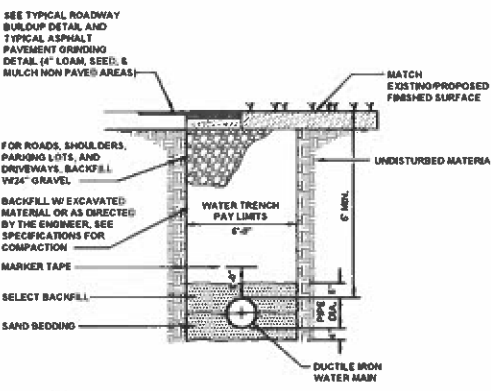
NOTE:
CONTRACTOR TO PROVIDE ROADWAY BUILDUP AS SPECIFIED ABOVE OR MATCH EXISTING, WHICHEVER IS GREATER.

TYPICAL ROADWAY BUILDUP DETAIL

NTS

TYPICAL VERTICAL GRANITE CURB DETAIL

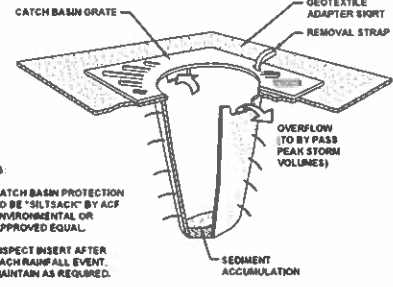
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NOTE:
1. MATCH EXISTING SURFACE FINISH, EXCEPT WHERE NOTED, IN LAWN AREAS INSTALL 4\"/>

TYPICAL TRENCH DETAIL - DUCTILE IRON WATER MAIN

NTS

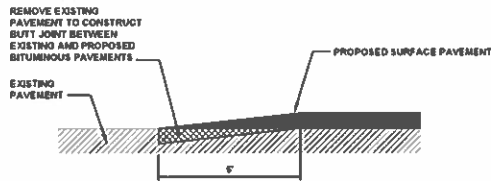


- NOTES:
- CATCH BASIN PROTECTION TO BE "SILT SACK" BY ACP ENVIRONMENTAL OR APPROVED EQUAL.
 - INSPECT INSERT AFTER EACH RAINFALL EVENT. MAINTAIN AS REQUIRED.
 - SEDIMENT WITHIN INSERT SHALL BE EMPTIED WHEN 1/2 FULL.

SEDIMENT SACK INLET PROTECTION DETAIL

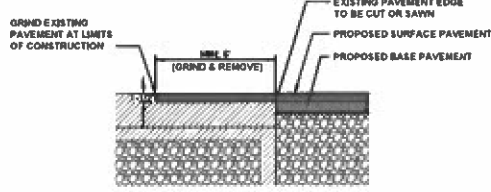
NTS

(MAY BE USED AS AN ALTERNATE TO HAY BALES)



TYPICAL ASPHALT PAVEMENT BUTT JOINT DETAIL

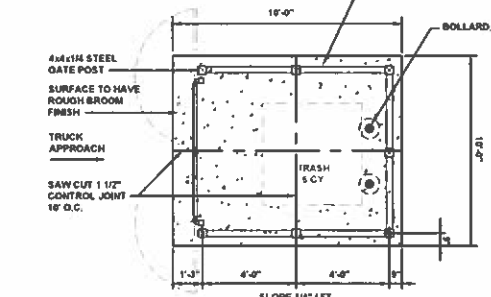
NTS



- NOTES:
- EXTEND NEW SURFACE PAVEMENT ACROSS BUTT JOINT IN BASE COURSE.
 - PROVIDE TACK COAT ON ALL SURFACES OF EXISTING PAVEMENT TO BE COVERED.

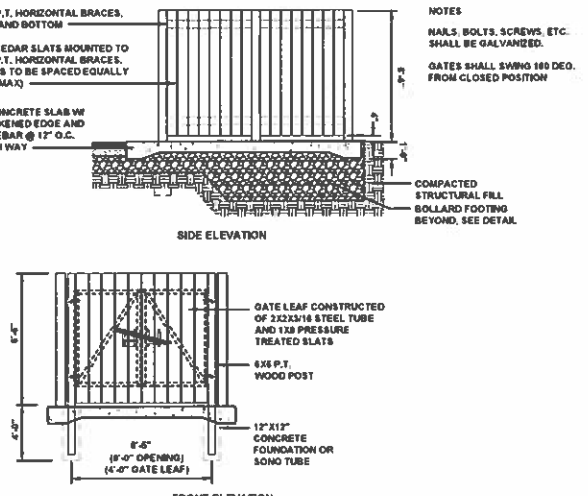
TYPICAL ASPHALT PAVEMENT GRINDING DETAIL

NTS



DUMPSTER PAD AND ENCLOSURE DETAIL

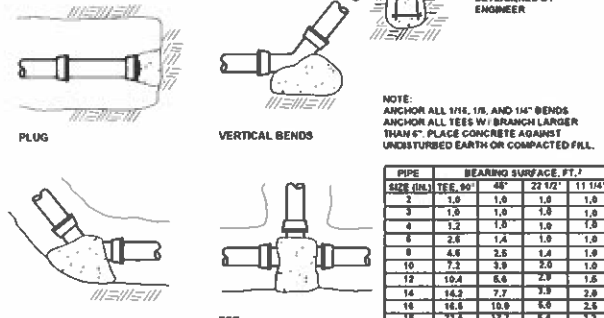
NTS



- NOTES:
1. MATCH EXISTING SURFACE FINISH, EXCEPT WHERE NOTED, IN LAWN AREAS INSTALL 4\"/>

TYPICAL TRENCH DETAIL - DUCTILE IRON WATER MAIN

NTS



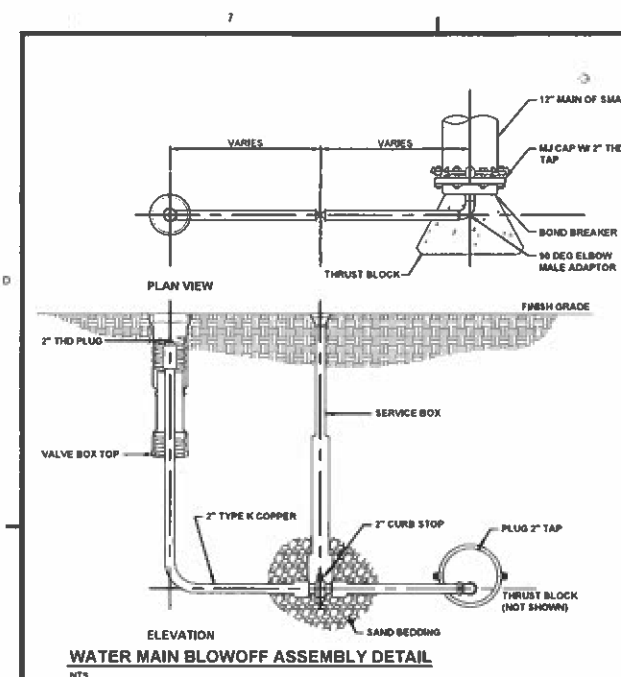
NOTE:
ANCHOR ALL 1/2\", 1/8\", AND 1/4\"/>

PIPE SIZE (IN.)	TEE 90°	45°	22 1/2°	11 1/4°
2	1.0	1.0	1.0	1.0
3	1.0	1.0	1.0	1.0
4	1.2	1.2	1.0	1.0
6	2.8	1.4	1.0	1.0
8	4.6	2.8	1.4	1.0
10	7.3	3.9	2.0	1.0
12	10.4	6.6	2.9	1.5
14	14.9	7.7	3.9	2.0
16	18.6	10.0	5.0	2.5
18	23.4	12.7	6.4	3.3

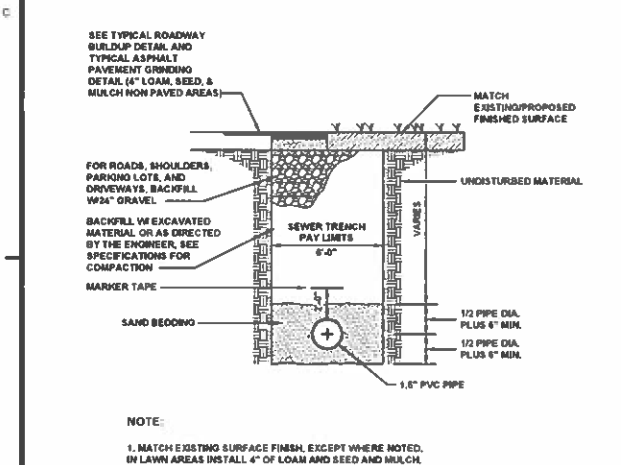
ANCHORAGE DETAILS

NTS

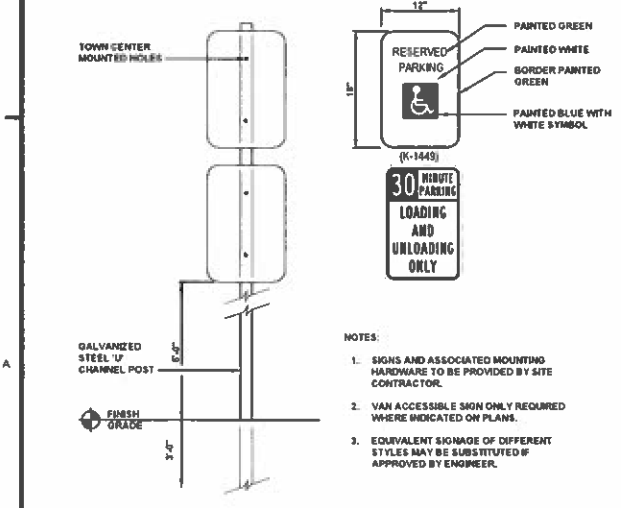
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DRAWING ISSUE STATUS				
NOT FOR CONSTRUCTION				
HALEY WARD ENGINEERING ENVIRONMENTAL SURVEYING One Merchants Plaza, Suite 701 Bangor, Maine 04401 207.939.4824 WWW.HALEYWARD.COM				
PROJECT: 12 PEARL STREET BIDDEFORD, MAINE				
SITE DETAILS				
DATE: 2026.06.29 SCALE: NTS DRAWN BY: P.M. DESIGNED BY: DJO CHECKED BY: DJO PROJECT No: 16372 06/29/2026 13871.013 DRAWING No: C501				



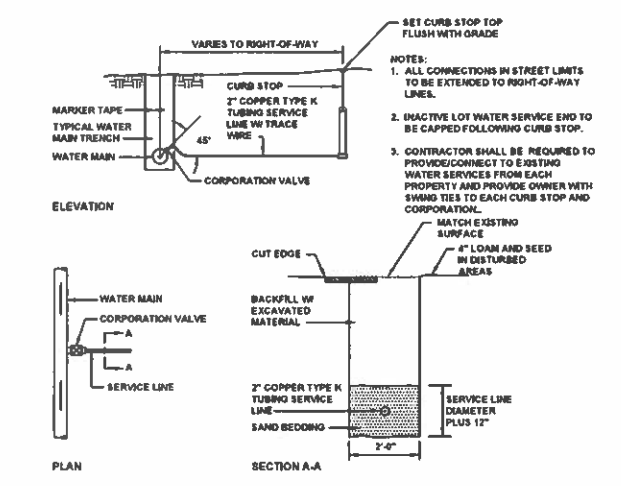
WATER MAIN BLOWOFF ASSEMBLY DETAIL
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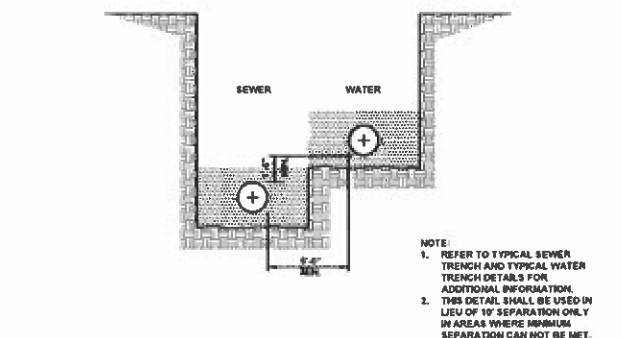
TYPICAL FORCE MAIN TRENCH DETAIL
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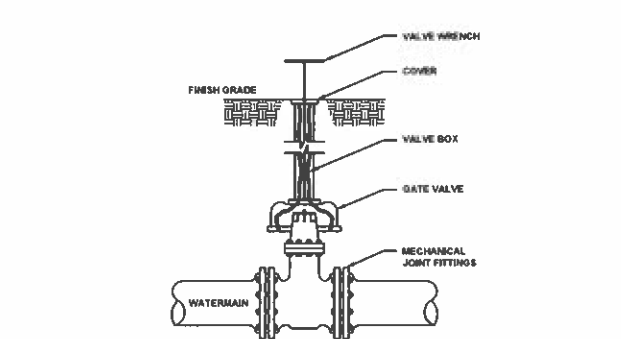
TYPICAL HANDICAP PARKING SIGN DETAIL
NTS



TYPICAL WATER SERVICE DETAIL
NTS



TYPICAL SEWER / WATER SEPARATION DETAIL
NTS



TYPICAL GATE VALVE DETAIL
NTS

E/ONE EXTREME

DH152

General Features

The model DH152 grinder pump station is a complete unit that includes: two grinder pumps, check valve, polyethylene tank, controls, and alarm panel. A single DH152 is ideal for up to four, average single-family homes and can also be used for up to 12 average single-family homes where codes allow and with consent of the factory.

- Rated for flows of 3000 gpd (11,356 lpd)
- 150 gallons (568 liters) of capacity
- Indoor or outdoor installation
- Standard outdoor heights range from 93 inches to 180 inches

The DH152 has a cable that connects the motor controls to the level controls through watertight penetrations.

Operational Information

Motor
1 hp, 1,725 rpm, high torque, capacitor start, thermally protected, 120/240V, 60 Hz, 1 phase

Inlet Connections
4-inch inlet grommet standard for DWV pipe. Other inlet configurations available from the factory.

Discharge Connections
Pump discharge terminates in 1 1/2-inch NPT female thread. Can easily be adapted to 1 1/2-inch PVC pipe or any other material required by local codes.

Discharge
15 gpm at 0 psig (0.95 lps at 0 m)
11 gpm at 40 psig (0.69 lps at 28 m)
7.8 gpm at 80 psig (0.49 lps at 56 m)

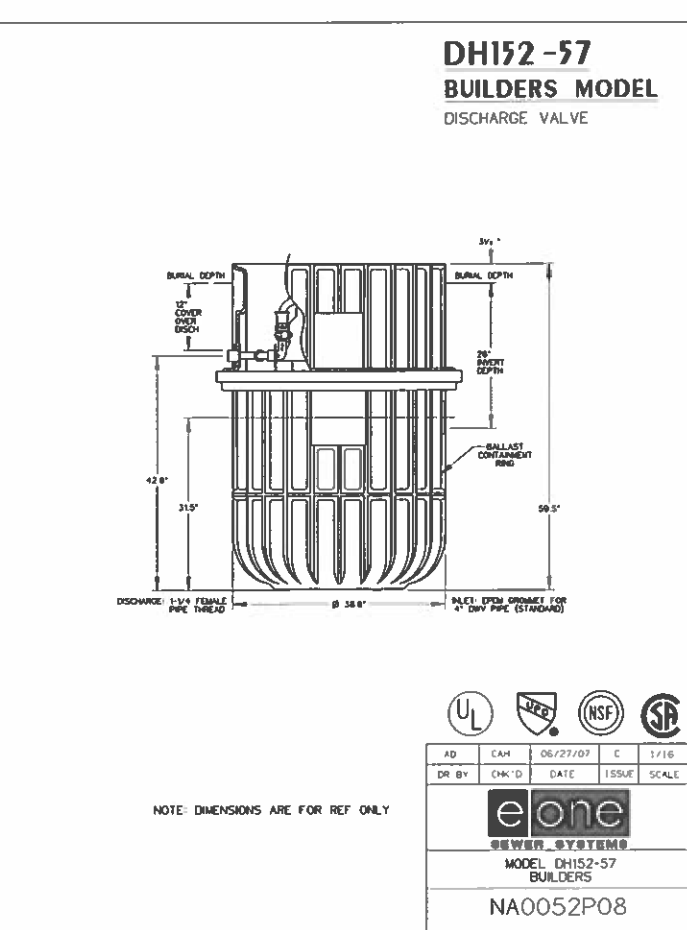
Accessories

E/One requires that the Uni-Lateral, E/One's own stainless steel check valve, be installed between the grinder pump station and the street man for added protection against backflow.

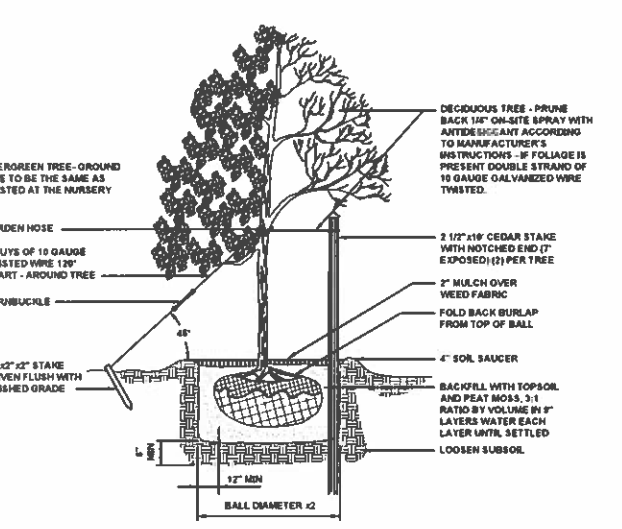
Alarm panels are available with a variety of options, from basic monitoring to advanced notice of service requirements.

The Remote Sentry is ideal for installations where the alarm panel may be hidden from view.

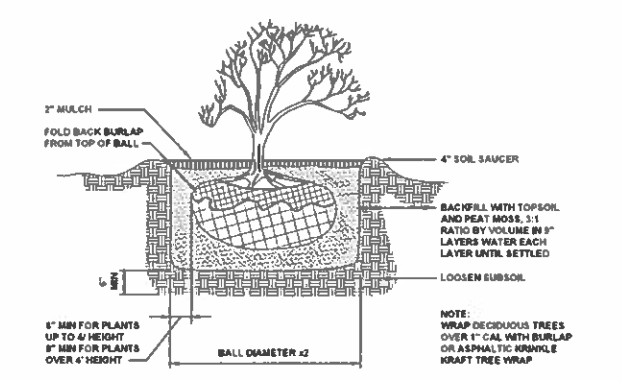
NA0052P01 Rev F



MODEL DH152-57 PUMP STATION DETAILS
NTS



TYPICAL PLANTING DETAIL
NTS



SHRUB PLANTING DETAIL
NTS

REV	DATE	DESCRIPTION	BY	CHK
DRAWING ISSUE STATUS				
NOT FOR CONSTRUCTION				
HALEY WARD ENGINEERING ENVIRONMENTAL SURVEYING One Merchants Plaza, Suite 201 Bangor, Maine 04401 207.989.4824				
PROJECT				
12 PEARL STREET BIDDEFORD, MAINE				
TITLE				
SITE DETAILS				
DATE: 2028.06.29 SCALE: NTS				
DRAWN BY: PJM		DESIGNED BY: DJD		CHECKED BY: DJD
PROJECT NO: 13871.013		DRAWING NO: C502		



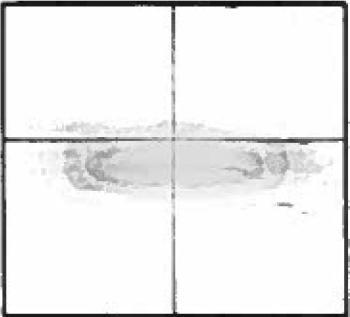
RATIO Wall

RWL1/RWL2 LED WALLPACK

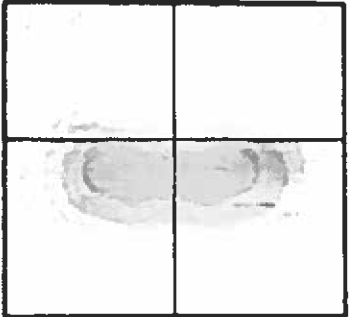
PHOTOMETRY

Mounting Height: 30ft

Type 2



Type 3



Type 4F

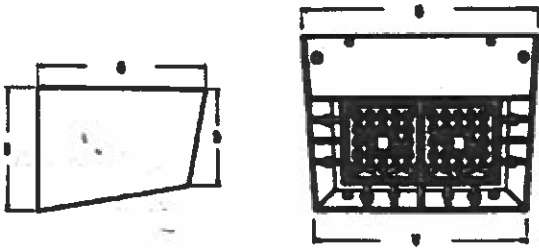


Type 4W



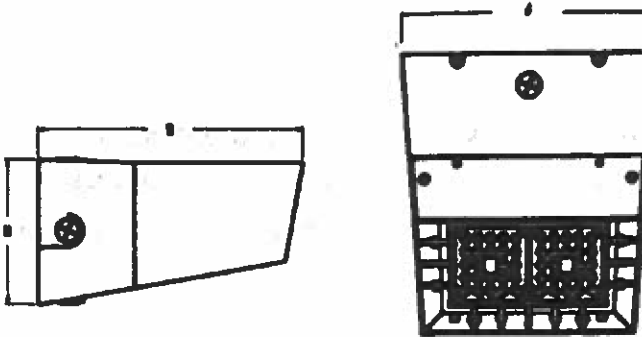
DIMENSIONS

RWL1



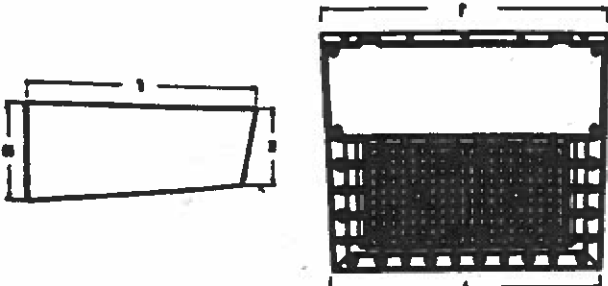
A	8.7"	221mm
B	8.7"	221mm
C	3.9"	98mm
D	7.8"	198mm
E	5.0"	127mm
Weight		6.5 lbs (2.95 kg)

RWL1 with
Integral Back Box



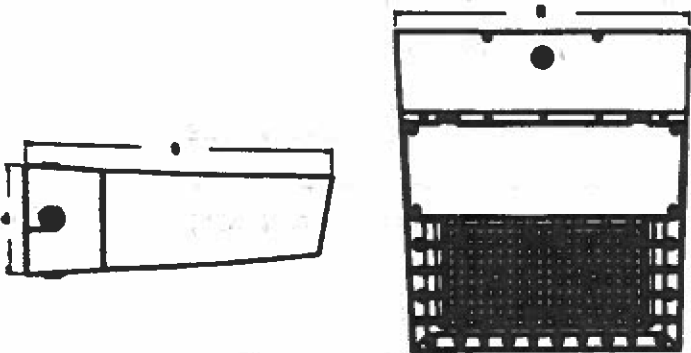
F	10.6"	269mm
G	11.0"	279mm
H	5.0"	127mm

RWL2



I	14.0"	356mm
J	15.0"	381mm
K	3.9"	98mm
L	12.0"	305mm
M	5.0"	127mm
Weight		16.5 lbs (7.48 kg)

RWL2 with
Integral Back Box



N	15.4"	391mm
O	16.0"	406mm
P	5.0"	127mm



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Rev 06/23/23
Ratio_Wall_Pack_Spec_Rev01.pdf