



**City of Biddeford  
Staff Review Committee**

December 30, 2025 at 10:30 AM  
City Hall Second Floor Conference Room & Zoom

[Click to Join Zoom Meeting Online](#)

Or call in by phone: +1 312 626 6799

Meeting ID: 942 0103 7210

Passcode: 412823

1. Projects for Staff Review Committee Decision
  - 1.a 2025.41 Minor Site Plan request by University of New England to expand Decary Hall located at 11 Hills Beach Road, (Tax Map 52, Lot 4) in the Institutional Zone.
2. Pending Projects

**CITY OF BIDDEFORD, MAINE**  
**SITE PLAN APPROVAL APPLICATION**

**Project:**  
**LEONARD HALL RENOVATIONS**  
**11 HILLS BEACH ROAD**

**Applicant:**  
**UNIVERSITY OF NEW ENGLAND**  
**11 HILLS BEACH ROAD**  
**BIDDEFORD, MAINE 04005**

**September 25, 2025**

**Prepared by:**  
**Site Design Associates**  
23 Whitney Way  
Topsham, Maine 04086  
Ph: 207-449-4275  
Email: [info@sitedesignassociates.biz](mailto:info@sitedesignassociates.biz)

# Site Design Associates

## Consulting Engineering and Land Planning

September 25, 2025

David Galbraith, City Planner  
City of Biddeford  
P.O. Box 586  
205 Main Street  
Biddeford, ME 04005

**RE: Proposed Building Addition  
Leonard Hall  
University of New England**

Dear David:

On behalf of University of New England (UNE), Site Design Associates is pleased to submit the enclosed plans and documentation in support of an application for minor Site Plan Approval for the construction of an addition to Decary Hall on the campus located on Hills Beach Road.

We have included the following information in support of this application:

- Formal Site Plan Review Application
- City Drawing Checklist
- Letter of Agent Authorization
- Site Location Map
- Drawings
  - C-100 Existing Conditions and Demolition Plan
  - C-200 Site Plan
  - C-300 Grading, Drainage, and Erosion Control Plan
  - C-400 Erosion & Sedimentation Control Notes and Details
  - C-401 Civil Details
  - C-402 Civil Details
  - L-100 Landscape Plan
  - A1.1 Floor Plan
  - A2.1 Elevations
  - A2.2 Elevations

The new College of Business building will be a significant and vibrant addition to campus, transforming a currently underutilized structure along the main pedestrian path to the university's library and student commons. The project involves the renovations of, and an addition to, UNE's Leonard Hall, which is attached to Decary Hall, to create a new home for the recently initiated College of Business. A section of the existing building (a portion of which is currently legally non-conforming in regards to setback from Hills Beach Road) will be removed and in its place a new addition will be

constructed (which will conform with the 50 ft setback requirement) creating the main entrance and hub for the College of Business. Other programming elements include a College of Business dean suite, Bloomberg Terminal lab, classrooms, meeting rooms, and offices. The exterior of the building will be comprised of brick, precast concrete (or granite), metal panels, glass, and new College of Business signage. The walkways surrounding the building will be impacted by construction, but will be restored as noted on the drawings. A new walkway is shown at the southeasterly entrance to the building.

The project is located in the Institutional zone where University uses are permitted. The site layout and design are in conformance with the applicable Site Plan Review criteria outlined in Part III, Article XI of the Biddeford Zoning Ordinance.

The following addresses Site Design Criteria in separate sections.

### **Site Plan Approval/Site Design Criteria**

#### **1. Drainage**

The existing runoff is tributary to a drainage system which runs under Hills Beach Road and into a system owned and maintained by UNE. This project will include the installation of a formalized enclosed drainage system to convey roof and site runoff to this system. There have been no known capacity issues in this system. The project will result in a decrease of 119 s.f. of impervious area. We believe that given the decrease in impervious area, the project will comply with Article VI. Section 61.1. of the Land Development Regulations: all new construction and development, whether or not served by a stormwater collection and transportation system, shall be designed to reflect or resemble, as nearly as possible, natural runoff conditions in terms of volume, velocity and location of runoff.

#### **2. Utilities**

No new sanitary sewers are proposed. Given the age of the existing water service, a new water service will be installed. A sprinkler service will be installed to serve the renovated portion of the building and the addition. Various communication lines will be impacted by the construction will be rerouted.

#### **3. Parking**

Not applicable.

#### **4. Structural Layout and Design**

a) Design of Buildings

At present, the buildings located at the intersection of this path and Hills Beach Road are either set back from the street or lack visible entrances and windows. In contrast, the new building is designed to serve as a prominent beacon, announcing the arrival of the College of Business and providing students with a welcoming space to study, gather, and engage. The design emphasizes a bright and comfortable environment with natural light, flexible seating, and an active presence that will energize this area of campus.

The project incorporates both the adaptive reuse of the existing structure and the construction of a new glass addition. While reusing the existing building aligns with sustainable design principles, the program requirements for the College of Business necessitated the addition to adequately accommodating student and academic needs. Both the renovated building and the new addition will be designed with energy-efficient mechanical and electrical systems, while also significantly improving the thermal performance of the existing envelope by increasing its R-value.

The connected Decary Hall establishes a strong architectural precedent with its classic tripartite façade of base, body, and top, composed of brick, storefront glazing, and EIFS designed to mimic concrete, accented with zinc-coated copper and ceramic tile. The new College of Business building will continue this architectural language, adopting a similar hierarchy and palette while introducing precast concrete and fiber-cement siding in place of EIFS. Precast concrete was specifically selected for its superior durability and its alignment with UNE's priority to ensure long-term performance.

The material palette of the new building is carefully calibrated to complement the existing context. The precast concrete will match the color tone of the EIFS, while the fiber-cement siding will echo the color of the adjacent brick. All materials were chosen for their durability and low-maintenance qualities, reinforcing UNE's commitment to a building that will retain its aesthetic integrity.

The project will fully comply with all applicable codes, including the Americans with Disabilities Act, energy codes, life safety standards, and the International Building Code.

b) Setbacks

The building will be sited in conformance with all setback requirements.

c) Fire Protection & Safety

A sprinkler system will be installed to serve the Leonard Hall renovation and addition.

d) Landscaping

In accordance with the master plan, a street tree will be added along Hills Beach Road with the replacement of shrubs and plantings along the sidewalk.

e) Service, Storage, and Utility Areas

Not applicable

f) Paving, Parking, and Storage Areas

Not applicable.

g) Handicapped Accessibility

The building will be accessible both externally and internally.

h) Loading Facilities

No loading facilities are proposed.

i) Parking, Loading, and Protective Buffers

Not applicable.

j) Open Space

Open space will remain as currently existing, with additional green space in front of the building.

k) External Lighting

No free-standing light fixtures are proposed. There will be lighting at the building entrances.

l) Signs

Signs will be located on the building and will be designed in conformance with the approved master plan.

m) Historic and Archeological Resources.

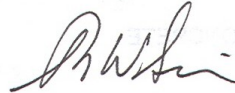
No part of the site has been identified as containing historic or archaeological resources.

We are currently soliciting a site contractor to undertake the work and would prefer to provide the performance guarantee cost estimate when the contractors are on board and

have priced it. We are in hopes that the staff review committee could consider this as a condition of approval.

Please let me know if staff has any questions, comments, or suggestions relative to this proposal. We look forward to meeting with the staff review committee at the next available meeting to discuss this project.

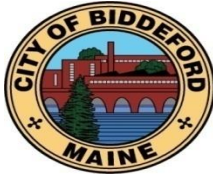
Sincerely,  
Site Design Associates



Tom Saucier, P.E.  
President

cc: Andrew Philippe, RA, NCARB, Director for Campus Planning

**Attachment 1**  
**Formal Site Plan Review Application**



City of Biddeford – Planning Department
Planning Board Application

P.O. Box 586, 205 Main Street Biddeford, Maine 04005
207-284-9115

Type of Application:

- Shoreland Zoning Permit
Conditional Use Permit
Other:
Site Plan Review (Please include checklist)
Subdivision (Please include Checklist)
Extraction
Private Way

Applicant Information:

Name: University of New England
Mailing Address: 11 Hills Beach Road Biddeford, Maine
Telephone: 207-602-2365
Email: aphilippe@une.edu

What is your legal interest in the property?

- Owner
Potential Buyer with Contract
Lease/Rental Agreement

Owner's Information:

Name: Applicant
Mailing Address:
Telephone:
Email:

Agent's Information:

Name: Tom Saucier, P.E. Site Design Associates
Mailing Address: 23 Whitney Way Topsham, Maine 04086
Telephone: 207-449-4275
Email: tsaucier@sitedesignassociates.biz

Engineer/Surveyor's Information:

Name: Agent
Mailing Address:
Telephone:
Email:

Project Location and Lot Information:

Street Address: 11 Hills Beach Road Drainage Watershed: Unnamed wetland
Tax Map: 52 Lot: 4
Current Zoning: IN Shoreland Zoning:
Size of Lot: 49.9 (x)acres ( )s.f. Lot Frontage: 1,489 ft +/-
Existing Use of Property: University use - Academic

Property currently serviced by:

- City Road
Private Sewer
Public Water
Public Trash
Private Road
Septic System
Private Well
Private Hauler

Slope Conditions in Area of Construction (if applicable):

- Flat (0-3% slope)
Rolling (3-8% slope)
Hilly (8-15% slope)
Steep (15%+ Slope)

Are there any wetlands or waterbodies on the site? (Yes) (No) if yes attach information

Is the project within the 100-year floodplain? (Yes) (No) if yes attach information

Do you plan to bring fill onto the lot? (Yes) (No) If yes attach information

**Description of proposed use of property:**

Project/Proposed Use:

   University use - Academic \_\_\_\_\_

**Property to be Serviced by:**

City Road       Private Sewer       Public Water       Public Trash

Private Road       Septic System       Private Well       Private Hauler

Limits of Disturbance:    17, 319 +/- \_\_\_\_\_ ( ) acres ( x ) s.f.

Net change in impervious cover:    (-119) \_\_\_\_\_ ( ) acres ( x ) s.f.

Is this project part of a larger project?  (Yes)  (No)

Is the project proposing a new Private or Public Road?  (Yes, Private)  (Yes, Public)  (No)

Is this project within the Urbanized Area/MS4 (see [City Drainage Map](#))  (Yes)  (No)

Is the project proposing any Stormwater facilities/BMPs?  (Yes)  (No)

Will a Traffic Movement Permit (TMP) be required?:  (Yes)  (No)

**If in a Shoreland Zone:**

Percent of residential lot coverage (Max 20%):    N/A

Percent of structure expansion (Max 30%):    N/A

**If Subdivision Review, number of lots proposed:** \_\_\_\_\_

**If a Private Way is proposed, number of lots served:** \_\_\_\_\_

**If Site Plan Review, you must provide the following information:**

Total new square feet footprint of structure: 626 s.f. \_\_\_\_\_

Total new square feet paving/parking:    (-745 s.f.) \_\_\_\_\_

**Waiver Requests (attach details):**

1.    Article XI.II.Section 5.B.1.b. - Written engineering report - Stormwater \_\_\_\_\_
2. \_\_\_\_\_
3. \_\_\_\_\_
4. \_\_\_\_\_
5. \_\_\_\_\_

**Required Submittal Attachments:**

- A. Letters of Approval
  - Fire Department – Contact Chief or Deputy Chief – 282-9986 (Plans sent via email)
  - Ability to Serve for Water Service – Maine Water – 282-1543
  - Ability to Serve for Sewer Service – Engineering Department – Tom Milligan 284-9118
  - Police Department – e-911 Road Name Designation – Contact Joanne Fisk 282-5127
  - Ability to Serve for Electrical Service-CMP-1-866-225-4200
  - Letter to Planning Board describing project, Waiver requests, proposed improvements, addressing permit requirements, etc.
- B. Photographs of Site.
- C. Architectural renderings/drawings of proposed buildings, as required.
- D. Engineering Plans, as required.
- E. Stormwater Management Report, as required.

**Fees (Due at time of Submission):**

- \$75 Nonrefundable Administration Fee is required for every application.
- Refer to “Attachment A Fees and Charges” of the Land Development Regulations for more information. Consult with Planning Staff if you have questions.


**Required Signatures:**


By signing this application, as the foresaid applicant or authorized agent:

- I certify that I have read and completely understand the application;
- I certify that the information contained in this application and its attachments are true and correct;
- I understand that all information provided on this form and all other documents submitted as part of my proposal is a matter of public record;
- I understand that copies of this information may be supplied upon request to an interested party.
- I understand that additional funds may be required through the course of the review for special studies, legal review costs, and/or engineering review.
- I understand that by submitting an application I am not guaranteed a place on any particular agenda. I further understand that the City Planner will place me on an agenda for review when the application is deemed substantially complete.

Will the proposed project cause 1 acre or more of site disturbance? \_\_ (Yes)  (No)

- If Yes, applicant is responsible for any required Maine Construction General Permits and shall comply with the requirements of DEP Chapter 500 Stormwater Regulations, as they apply.

Signature of Applicant:  Date 9/25/25

Signature of Property Owner:  Date 9/25/25

**DIGITAL SUBMITTAL REQUIREMENTS FOR ALL SUBMITTALS:**

- A) PDF OF SIGNED APPLICATION
- B) PDFs OF ALL DRAWING SETS AND OTHER REQUIRED SUBMITTAL ATTACHMENTS NOTED ABOVE

**HARD-COPY SUBMITTAL REQUIREMENTS FOR PLANNING BOARD APPLICATIONS:**

- A) SEVEN (7) FULL-SIZE PAPER COPIES OF DRAWING SETS

**DIGITAL SUBMITTAL REQUIREMENTS FOR FINAL APPROVAL:**

- A) INDIVIDUALLY NAMED PDFs OF EACH DRAWING (NOT A COMBINED PDF SET)  
- Individual Drawing PDF Naming Format: 'PROJECT/SHEETSET NAME\_ INDIVIDUAL DRAWING NAME.pdf'
- B) PDF COPIES OF ALL PERMIT APPROVALS, APPLICATIONS, REPORTS, NARRATIVES, LETTERS, ETC.
- C) FINAL CAD REFERENCE FILES IN DWG FORMAT (SURVEY & PROPOSED DESIGN LINEWORK)  
- All drawings & CAD reference files must be to-scale and within the following coordinate systems:  
- MAINE STATE PLANE WEST NAD83 (Horizontal Datum) & NAVD88 (Vertical Datum)

**HARD-COPY SUBMITTAL REQUIREMENTS FOR FINAL APPROVAL:**

- A) THREE (3) FULL-SIZE PAPER COPIES OF INDIVIDUAL DRAWINGS REQUIRING BOARD SIGNATURE
- B) ONE (1) FULL-SIZE PAPER COPY OF ENTIRE DRAWING SET FOR ENGINEERING RECORDS

**PLEASE CONFIRM WITH PLANNING STAFF FOR CLARIFICATION**

**Attachment 2  
Checklist**

**CITY OF BIDDEFORD - SITE PLAN & SUBDIVISION APPLICATION DRAWING CHECKLIST**

LAST REVISED: 11/26/2024

**CHECKLIST DIRECTIONS:**

- The following checklist must be completely filled out by the applicant and included on all preliminary and final Site Plan & Subdivision submittals. No checklist is required for sketch submittals.
- Applicant to confirm **all** of the items listed are included within the submittal. **Any** missing items must have **adequate** reasoning to justify their absence.
- City to review applicant's submittal and checklist responses. Projects missing substantial submittal information with non-acceptable reasoning **will be rejected and required to resubmit**.
- Items in **BLACK** are required for "Preliminary" approval & "Final" approval.
- Items in **BLUE** are only required for "Final" approval.

SUBMITTAL INFORMATION - TO BE FILLED OUT BY APPLICANT	
Project Name:	UNE LEONARD HALL RENOVATION
Planning Board # (if available):	
Applicant Name/Info:	UNIVERSITY OF NEW ENGLAND
Submittal #/Type (Prelim/Final):	MINOR SITE PLAN (FINAL)
Submittal Date:	25-Sep-25

ITEM NUMBER	SUBMITTAL REQUIREMENT DESCRIPTION	APPLICANT RESPONSE		CITY REVIEW RESPONSE	
		INFORMATION PROVIDED (YES/NO)	LIST DRAWING SHEET NUMBER WHERE INFORMATION IS PROVIDED	ACCEPTABLE (YES/NO-REVISE & RESUBMIT)	COMMENT
<b>1</b>	<b>GENERAL PLAN REQUIREMENTS</b>				
A	Drawing specific legends (linetypes, hatches, etc.)	YES	ALL SHEETS		
B	Individual drawing layer control should be utilized: freeze/thawing, changing lineweights, and screening (i.e. screen existing layers on a proposed plan, freeze topography and underground utilities on a proposed site plan)	YES	ALL SHEETS		
C	North arrows, standard engineering scale viewports, scale bars, dated revision blocks	YES	ALL SHEETS		
D	All drawings and surveys must be in the following coordinate systems: NAD83 Maine State Plane West (Horizontal) and NAVD88 (Vertical)	YES	ALL SHEETS		
E	Drawings need to be designed, signed & sealed by a Maine licensed professional engineer (PE); all boundary survey data needs to be performed by a licensed professional land surveyor (PLS)	YES	ALL SHEETS		
<b>2</b>	<b>COVER SHEET</b>				
A	Project Name & Property Address	YES	COVER SHEET		
B	Project Team Contact Information (Owner, Engineer, Contractor, etc.)	YES	COVER SHEET		
C	Site Location Map	YES	COVER SHEET		
D	Sheet Set List of Drawings	YES	COVER SHEET		
E	Tax Map and Lot ID	YES	COVER SHEET		
F	Zoning & Shoreland Zone Information	YES	COVER SHEET		
G	Existing Use Description	YES	COVER SHEET		
H	Proposed Use Description	YES	COVER SHEET		
I	Required Waiver/Variations (Yes/No); if yes, plan must clearly list waivers/variances requesting	Yes	COVER SHEET		
J	Name of Drainage Watershed	YES	COVER SHEET		
K	Within the MSA Urbanized Area (Yes/No)	YES	COVER SHEET		
L	Natural resources (streams, wetlands, etc.) located on-site or adjacent to the property (Yes/No)	NO	COVER SHEET	NO NATURAL RESOURCES WITHIN THE VICINITY OF THE PROJECT DISTURBED AREA.	
M	Within the 100-year Flood Zone (Yes/No)	NO	COVER SHEET		
N	Public Road Proposed (Yes/No)	NO	COVER SHEET		
O	Private Road Proposed (Yes/No)	NO	COVER SHEET		
P	Public Sewer Connection (Yes/No)	NO	COVER SHEET		
Q	Public Storm Drain Connection (Yes/No)	YES	COVER SHEET		
R	Limits of Disturbance in square feet and acres	YES	COVER SHEET		
S	Pervious Land Cover square footage, existing and proposed	YES	COVER SHEET		
T	Impervious Land Cover square footage (Pavement/Gravel), existing and proposed	YES	COVER SHEET		
U	Building Roof square footage, existing and proposed	YES	COVER SHEET		
V	Assigned Planning Board Number	N/A		STAFF REVIEW	
W	Estimated cut/fill earthwork volumes. If disturbing within the Flood Zone, a separate set of earthwork volumes required (overall site vs. within flood zone)	N/A		MINIMAL GRADE CHANGES PROPOSED.	
<b>3</b>	<b>EXISTING CONDITIONS PLAN</b>				
A	Horizontal & Vertical Datums annotated (NAD83 & NAVD88)	YES	C-100		
B	Property & Right-of-Way Lines	YES	C-100		
C	Boundary line information (bearings, distances, etc.)	NO		Part of a 49.9 acre parcel. Boundary survey submitted with previous application.	
D	Property pin and monumentation locations	NO		NO PROPERTY LINE CHANGE PROPOSED.	
E	Existing easements with proper ownership identified	NO		NONE WITHIN PROJECT AREA.	
F	Road Names & Individual Lot Labels (Map, Lot, Owner, Acreage)	YES	C-100		
G	Location of any Natural Resources and their respective buffers (wetlands, streams, etc.)	NO		NONE WITHIN VICINITY OF PROJECT AREA.	
H	100-year Flood Zone Limits & Elevation	NO		PROJECT NOT LOCATED WITHIN 100-YEAR FLOOD ZONE.	
I	Existing contours with adequate contour labelling; minimum 1' contour interval	YES	C-100		
J	Existing building FFEs annotated	YES	C-100		
K	Spot elevations for all tie-in locations (curb cuts, property line)	YES	C-100		
L	Existing buildings & structures	YES	C-100		
M	Existing pavement areas & number of parking spaces	YES	C-100		
N	Existing ADA ramp geometry, detectable warning plates, and ADA parking spaces	YES	C-100		
O	Existing site features (sidewalks, retaining walls, curbing, lightpoles, guide rails, dumpsters, fencing)	YES	C-100		
P	Existing signage and striping	YES	C-100		
Q	Existing underground utility locations (storm, sewer, force main, water, gas, elec, tele)	YES	C-100		
R	Existing above-ground utility locations (manholes, catch basins, utility poles, hydrants, transformers, riprap)	YES	C-100		
S	Rim, invert in, invert out, pipe size, cardinal direction (N, E, S, W) information for any existing utility infrastructure being tied into (upstream/downstream/outfalls)	YES	C-100		
T	Existing tree lines, street trees, free-standing trees (12" or larger diameter at breast height), and vegetation	YES	C-100		
U	Location of any borings, drinking wells, and monitoring wells	NO		NONE WITHIN VICINITY OF PROJECT AREA.	
<b>4</b>	<b>SITE DEMOLITION &amp; EROSION CONTROL (E&amp;SC) PLAN</b>				
A	Limits-of-disturbance outlined and acreage annotated	YES	C-100		
B	Location of any Natural Resources and their respective buffers (wetlands, streams, etc.)	NO		NONE WITHIN VICINITY OF PROJECT AREA.	
C	100-year Flood Zone Limits	NO			
D	Callout existing site features to be demolished/removed/replaced	YES	C-100		
E	Callout existing utilities to be demolished/removed/abandoned-in-place	YES	C-100		
F	Hatch existing buildings and pavement to be removed	YES	C-100		
G	Construction Entrance location(s)	YES	C-300		

H	Perimeter E&SC control location(s) (i.e. silt fence, erosion berm mix)	YES	C-300		
I	Stockpile and staging area(s) identified (with proper perimeter control)	YES	C-300		
J	Inlet protection location(s)	YES	C-300		
K	Note requiring contractor to implement dust control measures throughout construction	YES	C-300		
L	Note requiring contractor to pave utility trenches within right-of-way within 3 days of excavation or prior to any rain event	YES	C-200		
M	If groundwater expected, show dewatering/silt bag location(s); show temporary pumping routing	NO		NO GROUNDWATER EXPECTED PER GEOTECHNICAL INVESTIGATION.	
N	If large development is proposed with an extensive underground stormwater conveyance network, identify how SWM infrastructure and BMPs will be protected during construction and if sediment traps/basins are needed	NO		MINIMAL STORMWATER INFRASTRUCTURE PROPOSED.	
<b>5</b>	<b>SITE PLAN/SUBDIVISION PLAN</b>				
A	Partial Site Plans needed for any viewpoint scale greater than 1"=20'	NO		ENTIRE PLAN SET AT 10-SCALE.	
B	Existing property and right-of-way lines	YES	C-200		
C	Proposed subdivision lot lines and labels	NO		NO APPLICABLE.	
D	Required Zoning Setbacks shown with dimensions and annotation	YES	C-200		
E	Bulk requirement summary table (zoning/parking calculations)	NO		NOT APPLICABLE	
F	Location of any Natural Resources and their respective buffers (wetlands, streams, etc.)	NO		NONE WITHIN VICINITY OF PROJECT AREA.	
G	100-year Flood Zone Limits	NO		PROJECT NOT LOCATED WITHIN 100-YEAR FLOOD ZONE.	
H	Proposed building outlines, door entrances and loading docks	YES	C-200		
I	Proposed building labels	YES	C-200		
J	Proposed road & sidewalk extents; provide clear annotation if roads will be public or private	YES	C-200	SIDEWALK ONLY. NO PROPOSED ROADS.	
K	Proposed parking and accessible parking locations; annotate parking space counts	NO		NONE PROPOSED.	
L	Proposed signage, parking striping, and traffic striping	NO		NONE PROPOSED.	
M	Detailed ADA ramp geometry, detectable warning surfaces, and ADA parking striping/signage; existing & proposed	YES	C-200/DETAIL 3/C401		
N	Proposed site features (i.e. curbing, walls, fencing, guiderail, fire hydrant, transformers, light pole locations)	YES	C-200		
O	Proposed landscaping; detailed landscaping design should be shown on separate plans	YES	L-100		
P	Designated snow storage areas	YES	C-200		
Q	Proposed dumpster locations and trash removal access	NO		NONE PROPOSED/NECESSARY.	
R	Linear dimensions of all drive aisles, sidewalk widths, parking spaces, loading docks	YES	C-200		
S	Radial dimensions for all curbs, landscaped islands, sidewalks	YES	C-200		
T	Public/private road centerline stationing shown, labelled every 0+50' with curve data	NO		NONE PROPOSED.	
U	If Private Road is proposed, final recorded plans must clearly note that proposed private roads will not be submitted in the future for public acceptance	NO		NONE PROPOSED.	
V	If Private Road is proposed, final recorded plans must clearly note that the City is not responsible for any maintenance, repair, plowing, or trash removal of proposed private roads	NO		NONE PROPOSED.	
W	Planning Board signature block for final recording	NO		DOES NOT REQUIRE PB REVIEW.	
<b>6</b>	<b>GRADING PLAN</b>				
A	Partial Grading Plans needed for any viewpoint greater than 1"=20'	NO		ENTIRE PLAN SET AT 10-SCALE	
B	Limits-of-disturbance outlined and acreage annotated	YES	C-300		
C	Proposed Building Labels with Individual Finished Floor Elevations (FFEs)	YES	C-300		
D	Existing contours with adequate contour labelling, screened; minimum 1' contour interval	YES	C-300		
E	Proposed contours with adequate contour labelling; minimum 1' contour interval	YES	C-300		
F	Detailed grading for all ditches, swales, outfalls, and riprap	YES	C-300		
G	All proposed contours tie into existing contours at limits-of-disturbance outline	YES	C-300		
H	Existing spot elevations for all asphalt, curb, and SWM BMP tie-in locations	YES	C-300		
I	Location of any Natural Resources and their respective buffers (wetlands, streams, etc.)	NO		NONE WITHIN VICINITY OF PROJECT AREA.	
J	100-year Flood Zone Limits	NO		PROJECT NOT LOCATED WITHIN 100-YEAR FLOOD ZONE.	
K	Proposed spot elevations for all important roadway geometric points (including but not limited to: parking/drive aisles, building corners/entrances, retaining walls, loading docks, EOP/curblines)	NO		NOT APPLICABLE	
L	Proposed spot elevations for all ADA ramp/landing/parking stall geometry points	NO		NOT APPLICABLE	
M	Proposed % slope arrows for all ADA parking spaces and sidewalks	NO		NOT APPLICABLE	
N	Proposed longitudinal % slope arrows for drainage ditch centerlines	NO		NOT APPLICABLE	
O	Proposed % slope arrows for roads, parking areas, and landscape tie-in areas	YES	C-300		
P	Estimated cut/fill earthwork volumes. If disturbing within the Flood Zone, a separate set of earthwork volumes required (overall site vs. within flood zone)	N/A		MINIMAL GRADE CHANGES PROPOSED.	
<b>7</b>	<b>ROAD PROFILES (if public/private road proposed)</b>	NO		NONE PROPOSED.	
A	Existing surface: dashed and screened				
B	Proposed surface: continuous and bold				
C	Road design speed must be clearly identified				
D	Corresponding centerline stationing and curve data annotation				
E	All vertical curves must identify the proposed 'K' values and confirm they meet the minimum design speed thresholds listed in AASHTO's Green Book Tables 3-35 & 3-37				
F	Clear annotation if proposed road will be public or private				
G	If Private Road is proposed, plans must clearly note that proposed private roads will not be submitted in the future for public acceptance				
H	If Private Road is proposed, plans must clearly note that the City is not responsible for any maintenance, repair, plowing, or trash removal of proposed private roads				
<b>8</b>	<b>UTILITY PLAN</b>				
A	Existing underground utility locations; screened (storm, sewer, force main, water, gas, electric, telecom)	YES	C-200		
B	Existing above-ground utility locations; screened (manholes, catch basins, utility poles, hydrants, riprap)	YES	C-200/C-300		
C	Rim, invert in, invert out, pipe size, cardinal direction (N, E, S, W) information for any existing utility infrastructure being tied into (upstream/downstream/outfalls)	YES	C-300		
D	Proposed underground utility locations; bold (storm, sewer, force main, water, gas, electric, telecom, lighting)	YES	C-200/C-300		
E	Proposed above-ground utility locations; bold (manholes, catch basins, utility poles, hydrants, transformers, riprap)	YES	C-200/C-300		
F	Proposed storm culverts, outfalls, and riprap locations and sizes	NO		NONE PROPOSED.	

G	Storm/sewer structure labels must include: rim, inverts in, inverts out, pipe sizes, cardinal directions (N, E, S, W)	YES	C-300		
H	Storm/sewer pipe labels must include: linear footage, pipe size, material, slope	YES	C-300		
I	Flow directional arrows for storm & sewer pipes	YES	C-300		
J	Proposed & existing site features shown that could conflict with proposed utilities (trees, signs, lightpoles, bollards, foundations, guiderails)	YES	C-200/C-300		
K	All storm drains must be sized to convey the 25-year storm	YES	C-300		
L	Sewer force main sizes and invert elevations	NO		NONE PROPOSED	
M	Sewer pump station locations, model, rim, inverts, pipe sizes, cardinal directions (N,E,S,W); additional details and hydraulic calculations required for any Public pump station proposed.	NO		NONE PROPOSED	
N	Locations, sizes, and elevations of any: grease traps, oil-water separators, septic systems, drinking wells	NO		NONE PROPOSED	
O	Proposed water sizes labelled	YES	C-200		
9	<b>UTILITY PROFILES</b>	NO		NONE PROPOSED.	
A	Utility profiles required for <u>all</u> gravity storm drain and sewer pipes proposed: within the right-of-way, within private or public roads, for non-driveway culverts, and for any public infrastructure tie-ins				
B	Existing surface; dashed and screened				
C	Proposed surface; continuous and bold				
D	Storm/sewer structure labels must include: rim, inverts in, inverts out, pipe sizes, cardinal directions (W, E, S, W)				
E	Storm/sewer pipe labels must include: linear footage, pipe size, material, slope				
F	Existing and proposed gravity pipe crossings shown; sizes labelled and depths/clearance annotated				
G	Existing and proposed electric/water/telecom/gas crossings shown at approximate depths; sizes labelled and depths/clearance annotated				
10	<b>DETAILS</b>				
A	Road section detail, including pavement/gravel depths & cross slopes	YES	C-401		
B	Sidewalk, paver, crosswalk, and any other pavement section details	YES	C-401		
C	Pavement sawcut & shiplap details	YES	C-401		
D	Utility trench/backfill detail	YES	C-401		
E	All site feature details; curbing, retaining walls, fencing, guiderails, dumpsters, etc.	YES	C-401		
F	Signage, striping, and ADA details	NO		NONE PROPOSED.	
G	E&S notes and details	YES	C-400		
H	Utility structure details (manholes, cleanouts, fittings, handholes, transformer pads, hydrants)	YES	C-401		
I	Storm outfall & riprap details	NO		NONE PROPOSED	
J	Drainage ditch cross section identifying minimum depth, minimum bed width, and maximum side slopes	YES	C-401		
K	Pump station, grease trap, oil-water separator, septic, drinking well details	NOE		NONE PROPOSED	
L	Conduit section details	YES	ELECTRICAL PLANS		
11	<b>LANDSCAPING, LIGHTING &amp; PHOTOMETRIC PLANS</b>				
A	As required by ordinance; at a minimum: locations, counts, lighting models, and landscaping species must be identified	YES	L-100		
B	Landscaping & lighting details	NO		NONE PROPOSED	
12	<b>DOCUMENTS/REPORTS/CALCULATIONS</b>				
A	On initial preliminary submittal applications, applicant must submit a development review and inspection fee. Applicant to coordinate fee amount with City Planner prior to submittal. This fee will be drawn against to cover the following type of services throughout the project life cycle (and may require replenishing): i. 3rd Party City Peer-Review ii. Site Inspections during the permitting process iii. Erosion & Sediment Control Inspections during construction iv. Right-of-Way Inspections during construction v. Site Punchlist/As-Built Inspections post-construction				
B	Stormwater Management Report, including: 1. Pre-development & Post-development Drainage Area Maps, including: a. Subdrainage areas delineated and labeled b. Points of Interest/Analysis shown and labeled c. Hatching for different land cover areas (impervious, pervious, gravel) within each applicable USDA soil boundary d. Time of concentration (Tc) paths & durations e. Four City-standardized stormwater summary tables 2. If any SWM water quality BMP or detention facility is proposed, hydrologic model exports/hydrographs must be submitted for the for the 2, 10, 25, & 100-year storm frequencies 3. Sizing calculations for any SWM water quality BMP or detention facility 4. A stormwater maintenance manual for any proposed SWM water quality BMP or detention facility, including: a. Annual maintenance requirements b. Annual inspection requirements by a licensed PE; noting that all inspection reports/logs need to be submitted to the Engineering Department by March 1st each following year, identifying what on-going maintenance has occurred and what remedial repairs are needed c. Signed Property Owner Agreement: including the current property owner's contact information and signature; it must be noted that all stormwater BMP maintenance requirements are linked to the property for perpetuity and transfer to any new ownership	NO		Waiver requested. See cover letter.	
C	An approved 'Sewer Ability-to-Serve Letter' from the Engineering Department: i. Applicant to submit proposed sewer flow calculations per Maine's Subsurface Wastewater Disposal Rules, Chapter 241, Section 4 (Tables 4A & 4C)	NO		Existing sewer to private treatment plant.	
D	A Performance Guarantee Cost Estimate utilizing Planning's template	NO		Request a condition of approval; will provide when site contractor is on board	
E	For any Site Location of Development (SLODA) project, the applicant's submittal must mimic a formal submittal to DEP. Submit must abide to DEP's SLODA application and include DEP's SLODA Submittal Checklist (Form D)				
F	25-year hydraulic calculations for all storm conveyance infrastructure (pipes, culverts, drainage ditches); starting tailwater conditions/documentation must be clearly identified				

K	Public sewer pump station sizing calculations and maintenance plan				
M	Grease trap sizing calculations				
N	Homeowner Association (HOA) agreement for any private road serving two (2) lots or more				
O	Summary list & copy of any required DOT/DEP/USACE permits & approvals				

**Attachment 3**  
**Agent Authorization**



UNIVERSITY OF  
NEW ENGLAND

**Biddeford Campus**  
11 Hills Beach Road  
Biddeford, ME 04005  
(207) 283-0171 T

**Portland Campus**  
716 Stevens Avenue  
Portland, ME 04103  
(207) 797-7261 T

September 25, 2025

Mr. Tom Saucier  
Site Design Associates  
23 Whitney Way  
Topsham, Maine 04086

TO WHOM IT MAY CONCERN:

This letter authorizes Tom Saucier, Site Design Associates, to serve as an agent for University of New England for the purpose of permitting building renovations and an addition to Decary/Leonard Hall.

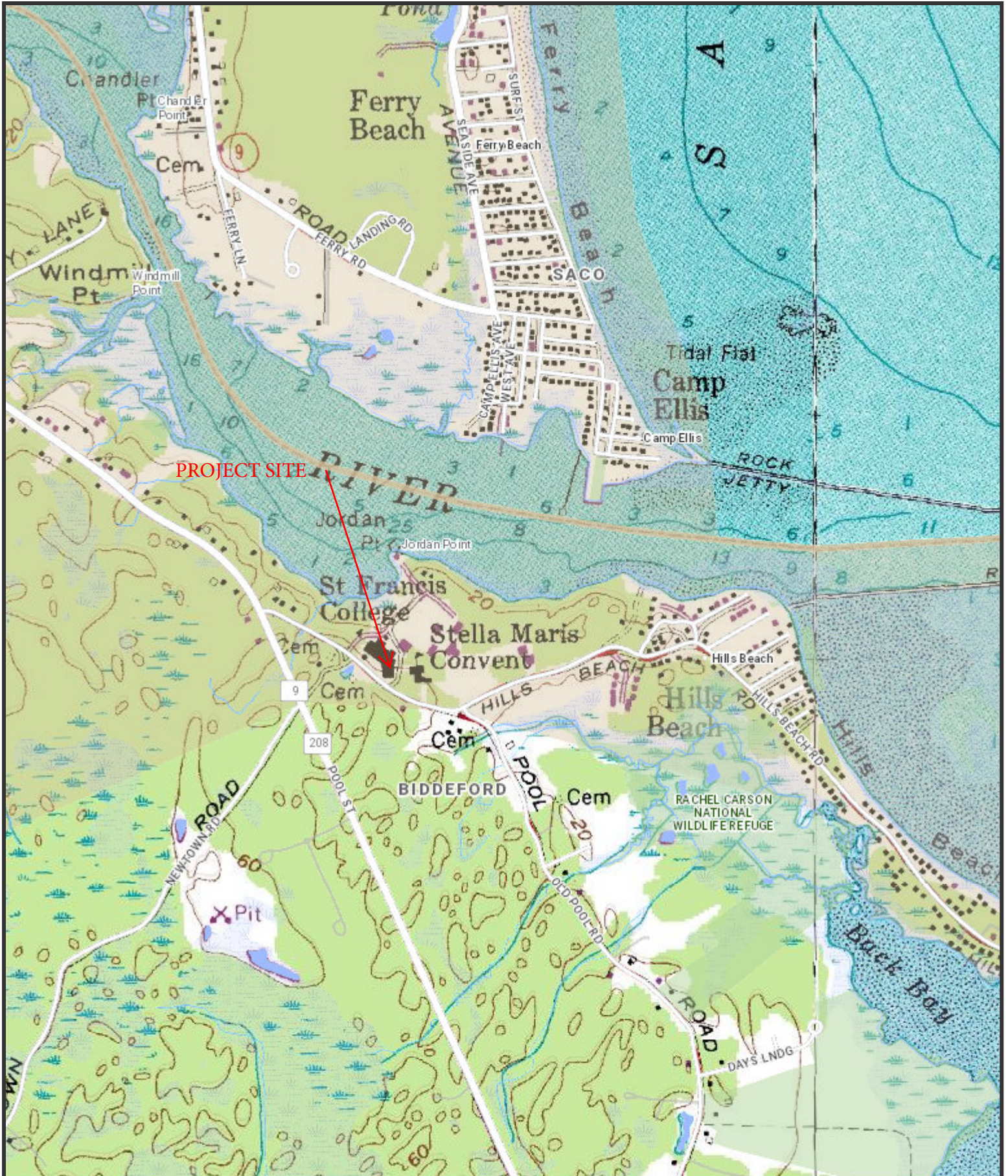
Sincerely,

A handwritten signature in black ink that reads 'alan thibeault'. The signature is written in a cursive style with a large, sweeping flourish above the name.

Alan Thibeault  
Vice President for University Operations

**Attachment 4  
Location Map**

# RECREATIONAL PIER JORDAN POINT



The Maine Department of Transportation provides this publication for information only. Reliance upon this information is at user risk. It is subject to revision and may be incomplete depending upon changing conditions. The Department assumes no liability if injuries or damages result from this information. This map is not intended to support emergency dispatch.

0.25 Miles  
1 inch = 0.28 miles

Date: 6/8/2023  
Time: 3:54:08 PM

**Attachment 5**  
**Drawings**

# LEONARD HALL RENOVATION

UNIVERSITY OF NEW ENGLAND  
11 HILLS BEACH ROAD  
BIDDEFORD, ME 04005

PREPARED FOR:  
UNIVERSITY OF NEW ENGLAND  
11 HILLS BEACH ROAD  
BIDDEFORD, ME 04005

SEPTEMBER 25, 2025  
ISSUED FOR MINOR SITE PLAN REVIEW

## DESIGN CONSULTANTS

CIVIL ENGINEER  
SITE DESIGN ASSOCIATES, INC.  
23 WHITNEY WAY  
TOPSHAM, ME 04086  
207-449-4275

LAND SURVEYOR  
STATEWIDE SURVEYS, INC.  
35 EASTMAN ROAD  
CAPE ELIZABETH, ME 04107  
207-767-4200

LANDSCAPE ARCHITECT  
LAND DESIGN SOLUTIONS  
1 FARADAY DRIVE  
CUMBERLAND, ME 04021

SITE CONTRACTOR  
TO BE DETERMINED

## Site Design Associates

Consulting Engineering & Land Planning

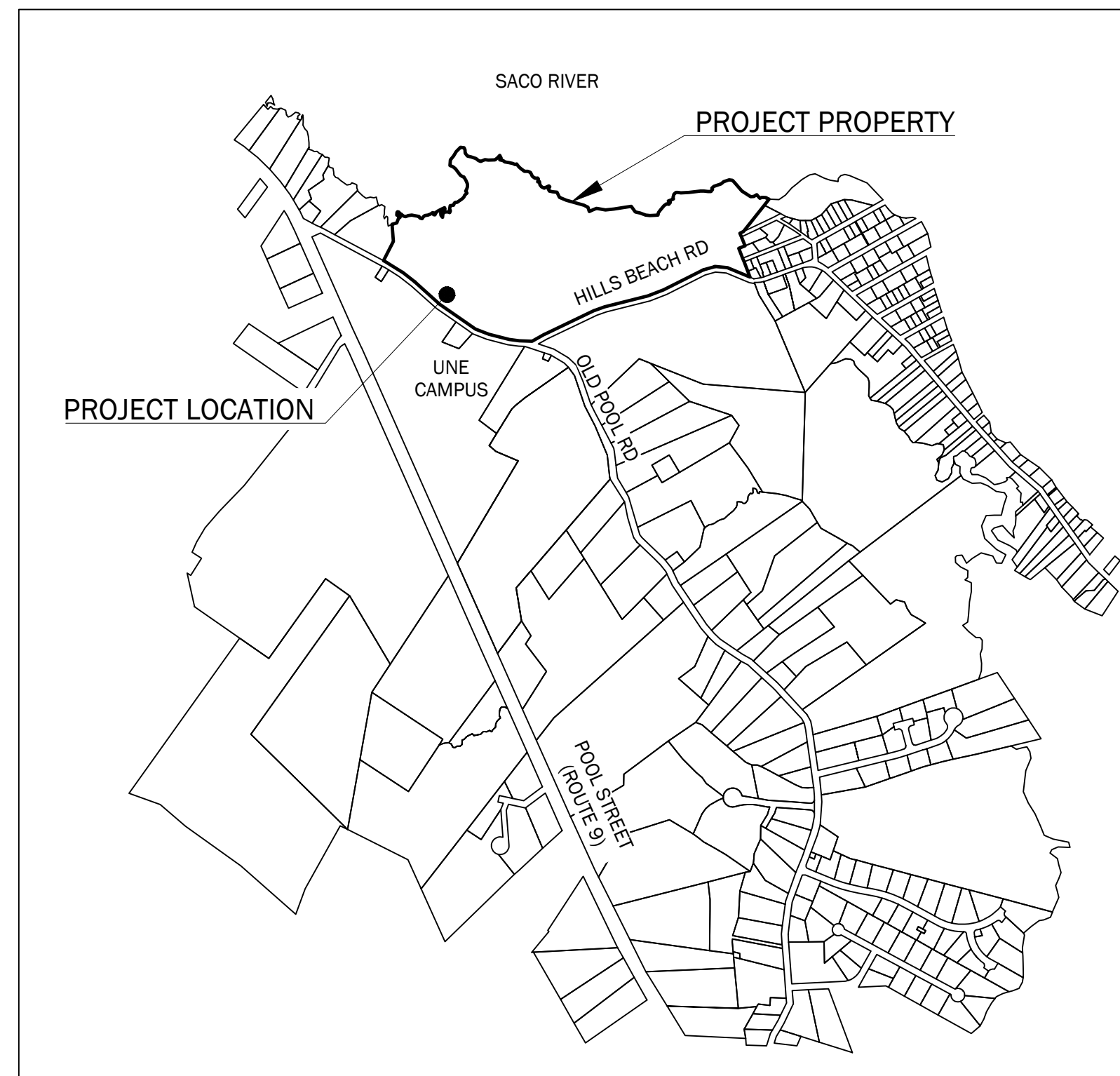
23 Whitney Way Topsham, Maine 04086 Tel: (207) 449-4275

## LIST OF DRAWINGS:

SHEET NO.	SHEET TITLE
	COVER SHEET
C-100	EXISTING CONDITIONS AND DEMOLITION PLAN
C-200	SITE PLAN
C-300	GRADING, DRAINAGE, AND EROSION CONTROL PLAN
C-400	EROSION & SEDIMENTATION CONTROL NOTES AND DETAILS
C-401	CIVIL DETAILS
C-402	CIVIL DETAILS
L-100	LANDSCAPE PLAN

### GENERAL PROJECT NOTES:

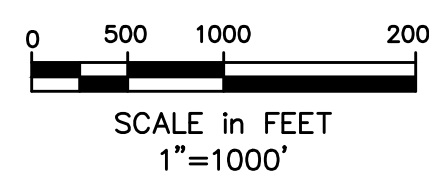
1. THE PROJECT SITE CONTAINS APPROXIMATELY 49.9± ACRES.
2. THE PROJECT SITE IS LOCATED IN THE INSTITUTIONAL (IN) ZONE.
3. A PORTION OF THE SUBJECT PROPERTY IS IN THE SHORELAND ZONE, BUT THERE IS NO WORK PROPOSED WITHIN THE SHORELAND ZONE.
4. THE SITE IS CURRENTLY PART OF THE UNIVERSITY OF NEW ENGLAND CAMPUS. LEONARD HALL IS CONNECTED TO DECARY HALL. THE ENTIRE PROPOSED DISTURBED AREA IS CURRENTLY DEVELOPED WITH BUILDINGS, INFRASTRUCTURE, AND LANDSCAPING.
5. THE PROPOSED PROJECT CONSISTS OF THE DEMOLITION OF A PORTION OF THE EXISTING LEONARD HALL BUILDING AND RECONSTRUCTION OF LEONARD HALL. THE NEW PORTION OF LEONARD HALL IS 3,460 SQUARE FEET.
6. THE PROJECT IS LOCATED IN THE SACO RIVER WATERSHED.
7. THE PROJECT SITE IS LOCATED WITHIN THE BIDDEFORD MS4 URBANIZED AREA.
8. THE PROPERTY IS ADJACENT TO THE SACO RIVER, BUT THERE ARE NO NATURAL RESOURCES WITHIN THE VICINITY OF THE PROJECT DISTURBED AREA.
9. THE PROJECT IS NOT LOCATED WITHIN THE FEMA 100-YEAR FLOODPLAIN.
10. NO PUBLIC OR PRIVATE ROADS ARE PROPOSED FOR THIS PROJECT.
11. NO NEW PUBLIC SEWER CONNECTIONS ARE PROPOSED FOR THIS PROJECT.
12. A NEW CONNECTION TO THE PUBLIC STORM DRAIN SYSTEM IN HILLS BEACH ROAD IS PROPOSED FOR THIS PROJECT.
13. THE PROJECT LIMIT OF DISTURBANCE IS APPROXIMATELY 17,319 SF (0.40± ACRES).
14. PERVIOUS LAND COVER ONSITE:  
EXISTING: 7,433 SF  
PROPOSED: 7,552 SF
15. IMPERVIOUS LAND COVER ONSITE:  
EXISTING: 9,886 SF  
PROPOSED: 9,767 SF
16. BUILDING ROOF SQUARE FOOTAGE  
EXISTING: 2,834 SF  
PROPOSED: 3,460 SF
17. THE FOLLOWING WAIVER IS REQUESTED FOR THE PROJECT.  
17.1. ARTICLE XI.II.SECTION 5.B.1b - WRITTEN ENGINEERING REPORT - STORMWATER.



USGS BIDDEFORD, MAINE 24K TOPOGRAPHIC MAP, 2021



### SCALE

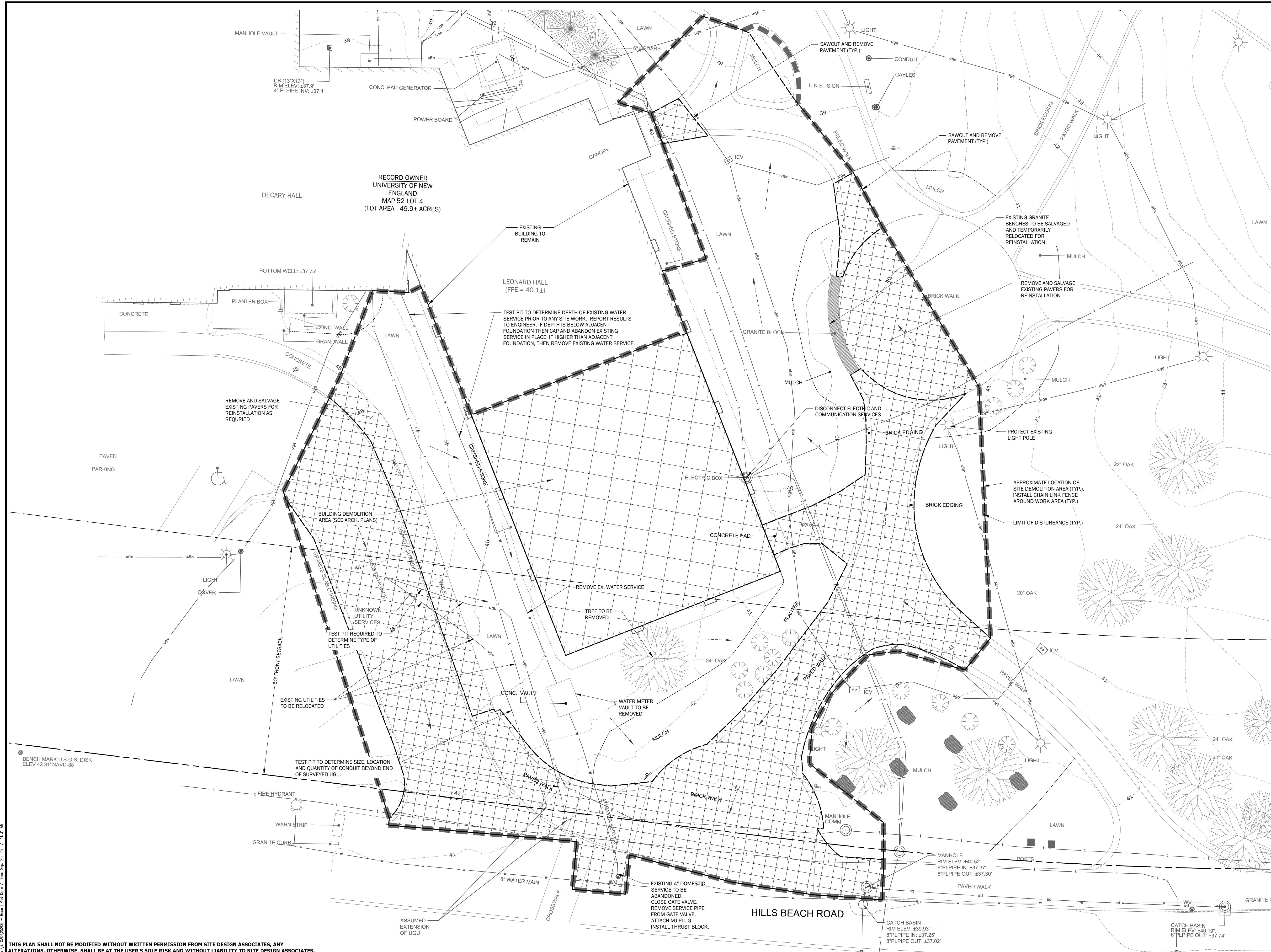


## RECORD OWNER:

UNIVERSITY OF NEW ENGLAND  
11 HILLS BEACH ROAD  
BIDDEFORD, ME 04005

## PARCEL ID:

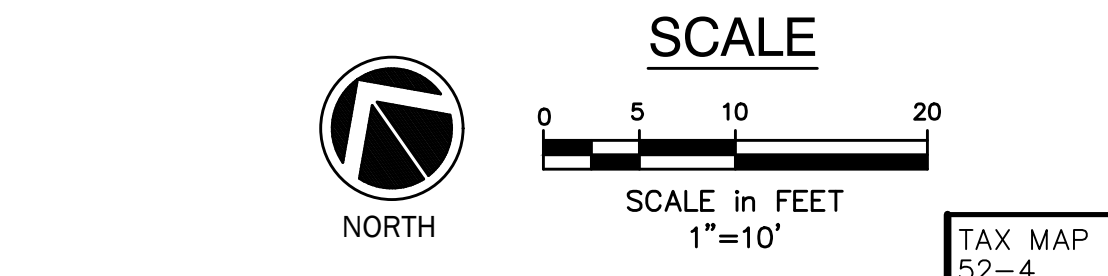
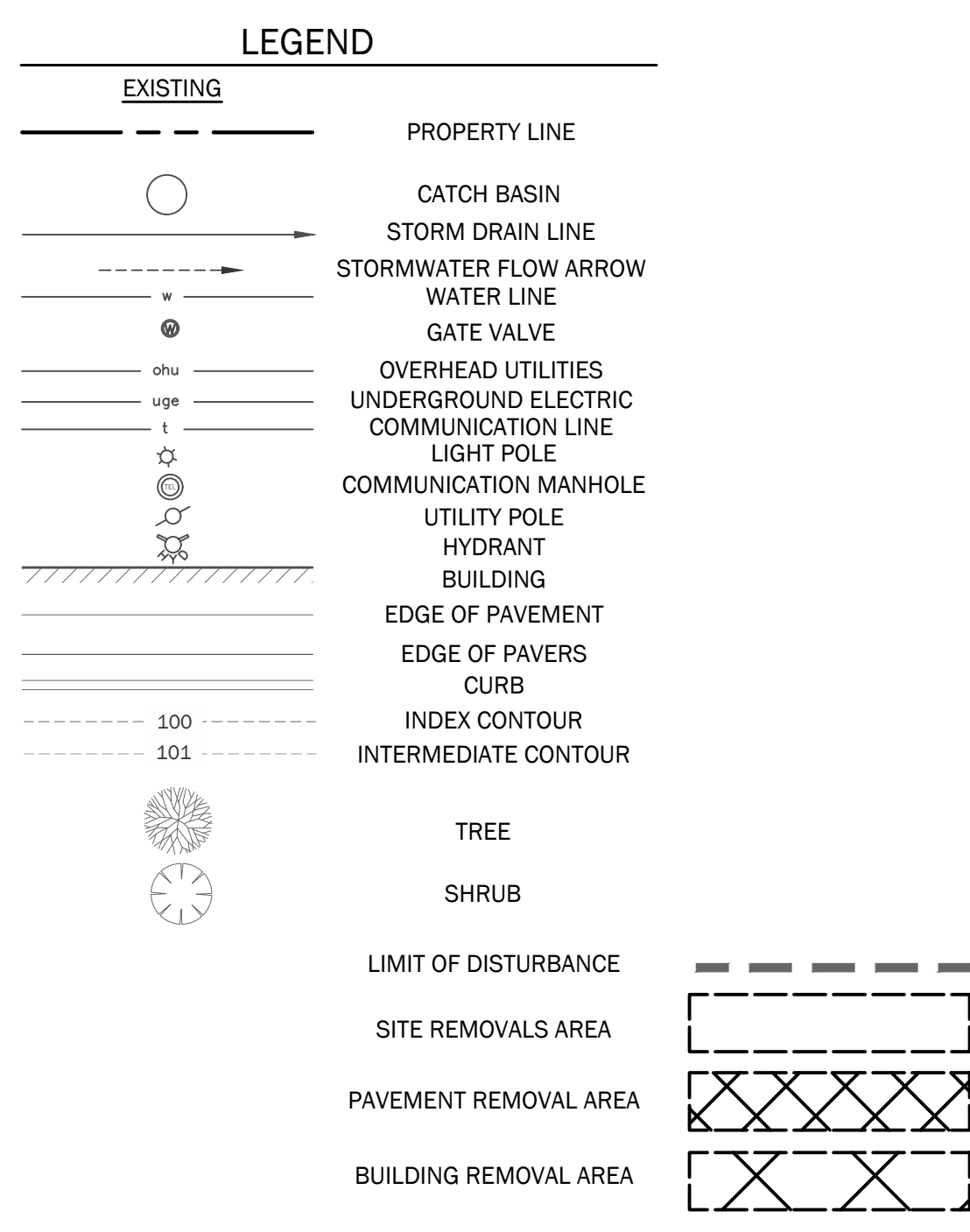
TAX MAP 52  
LOT 4



- EXISTING CONDITIONS NOTES**
1. THE CONTRACTOR SHALL NOTIFY DIGSAFE PRIOR TO ANY DEMOLITION AND CONSTRUCTION ACTIVITIES.
  2. THE LOCATIONS OF UNDERGROUND UTILITIES ARE APPROXIMATE AND NOT GUARANTEED BY THE OWNER OR THE ENGINEER. IT IS THE CONTRACTORS RESPONSIBILITY TO LOCATE ALL UTILITIES, ANTICIPATE CONFLICTS, AND REPAIR EXISTING UTILITIES AS REQUIRED TO COMPLETE THE WORK.
  3. ANY EXISTING PROPERTY DAMAGED BY THE CONTRACTOR SHALL BE REPAIRED OR REPLACED TO MATCH ITS ORIGINAL EXISTING CONDITIONS BY THE CONTRACTOR AT NO CHARGE TO THE OWNER OR ENGINEER.
  4. ALL MATERIALS DESIGNATED FOR REMOVAL/DEMOLITION SHALL BECOME THE PROPERTY OF THE CONTRACTOR UNLESS OTHERWISE SPECIFIED. THE CONTRACTOR SHALL DISPOSE OF ALL MATERIALS OFF-SITE IN ACCORDANCE WITH ALL LOCAL, STATE AND FEDERAL REGULATIONS, ORDINANCES AND CODES.
  5. SAWCUT, GRIND AND REMOVE PAVEMENT PER DETAIL SHOWN ON SITE DETAIL SHEETS. IN ALL AREAS WHERE PAVEMENT TO BE REMOVED ABUTS EXISTING PAVEMENT TO REMAIN.
  6. SCREENED IMAGES REPRESENT EXISTING CONDITIONS.

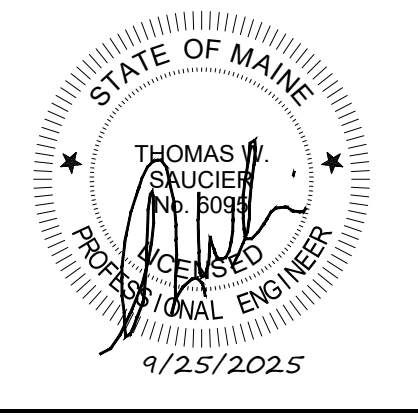
- GENERAL PROJECT NOTES**
1. PRIOR TO THE START OF ANY EXCAVATION FOR THE PROJECT, BOTH ON-SITE AND OFF-SITE, THE CONTRACTOR SHALL NOTIFY DIGSAFE AND BE PROVIDED WITH A DIGSAFE NUMBER INDICATING THAT ALL EXISTING UTILITIES HAVE BEEN LOCATED AND CLEARLY MARKED.
  2. CONTRACTOR SHALL THOROUGHLY FAMILIARIZE THEMSELVES WITH ALL DRAWINGS AND SITE CONDITIONS PRIOR TO BIDDING AND PRIOR TO CONSTRUCTION.
  3. IT IS THE CONTRACTOR'S RESPONSIBILITY TO FAMILIARIZE THEMSELVES WITH AND COMPLY WITH THE CONDITIONS OF ALL REGULATIONS, PERMITS AND APPROVALS AND CONDUCT THE WORK IN ACCORDANCE WITH THESE PERMITS AND APPROVALS. THE CONTRACTOR SHALL OBTAIN AND PAY FOR ALL ADDITIONAL PERMITS, STREET OPENINGS, NOTICES AND FEES NECESSARY TO COMPLETE THE WORK.
  4. ANY DISCREPANCIES BETWEEN DRAWINGS AND SITE CONDITIONS AS WELL AS MANUFACTURER'S RECOMMENDATIONS SHALL BE REPORTED IMMEDIATELY TO THE OWNER'S REPRESENTATIVE FOR CLARIFICATION AND RESOLUTION PRIOR TO BIDDING OR CONSTRUCTION.
  5. CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR ALL MEANS, METHODS AND TECHNIQUES EMPLOYED TO PERFORM WORK SHOWN ON THESE PLANS.
  6. THE CONTRACTOR SHALL LIMIT THE CONSTRUCTION ACTIVITY TO THE LIMITS SHOWN ON THE PLANS, UNLESS OTHERWISE AUTHORIZED BY THE OWNER'S REPRESENTATIVE.
  7. CONTRACTOR SHALL PAVE ALL UTILITY TRENCHES WITHIN THE PUBLIC RIGHT-OF-WAY WITHIN THREE DAYS OF EXCAVATION OR PRIOR TO ANY RAIN EVENT.

- PLAN REFERENCES**
1. PARTIAL BOUNDARY AND TOPOGRAPHIC INFORMATION OBTAINED FROM A PLAN ENTITLED "TOPOGRAPHIC SURVEY, LEONARD-DECARY HALL, HILLS BEACH ROAD, BIDDEFORD, ME" PREPARED BY STATEWIDE SURVEYS, INC. OF CAPE ELIZABETH, MAINE, DATED MARCH 2025.
  2. HORIZONTAL COORDINATES BASED ON MAINE STATE PLANE GRID NORTH, ME WEST ZONE, SURVEY FEET.
  3. VERTICAL ELEVATIONS BASED ON USGS DISK CONVERTED TO NAVD8S, FEET.



THIS PLAN SHALL NOT BE MODIFIED WITHOUT WRITTEN PERMISSION FROM SITE DESIGN ASSOCIATES, ANY ALTERATIONS, OTHERWISE, SHALL BE AT THE USER'S SOLE RISK AND WITHOUT LIABILITY TO SITE DESIGN ASSOCIATES.

REV.	DATE	STATUS	BY	CHKD.	APPD.	REV.	DATE	STATUS	BY	CHKD.	APPD.
A	9/25/2025	ISSUED FOR CITY OF BIDDEFORD MINOR SITE PLAN REVIEW - NOT FOR CONSTRUCTION		TWS	TWS						



**Site Design Associates**  
Consulting Engineering & Land Planning

23 Whitney Way Topsham, Maine 04086 Tel: (207) 449-4275

CLIENT: **UNIVERSITY OF NEW ENGLAND**  
11 HILLS BEACH ROAD, BIDDEFORD, MAINE 04005

DESIGN: DEPT.  
DRAWN: DEPT.  
CHKD: TWS

DATE: JUNE 2025  
SCALE: 1" = 10'

PROJECT: **LEONARD HALL RENOVATION**  
UNE, 11 HILLS BEACH ROAD, BIDDEFORD, ME 04005

**EXISTING CONDITIONS AND DEMOLITION PLAN**

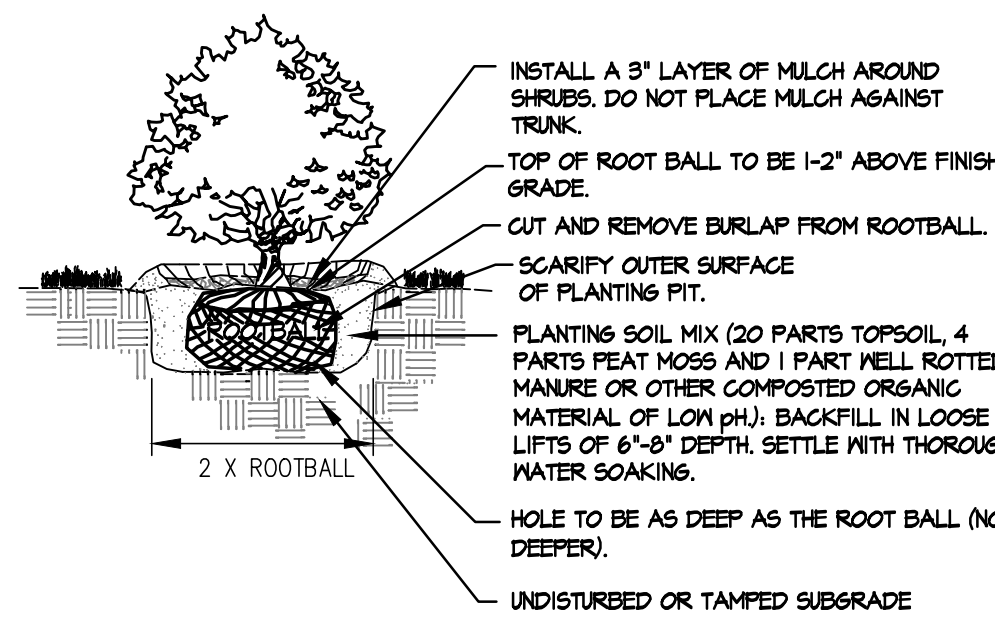
PROJ. NO. **24-216-05**  
DWG. NO. **C-100**

TAX MAP I.D. 52-4



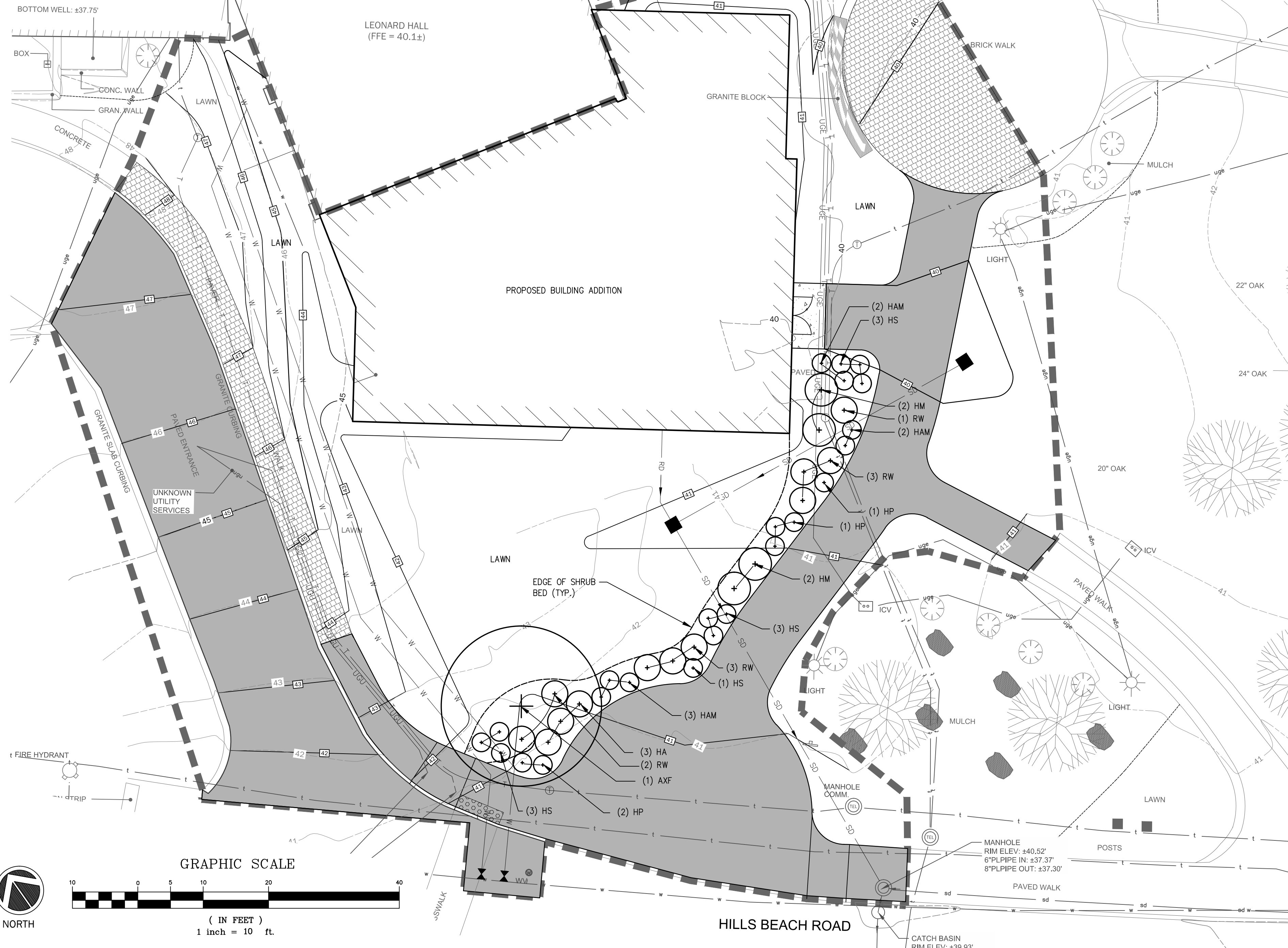


- NOTES:
- CONSTRUCT TEMPORARY PLANT SAUCIER FROM MULCH TO ASSIST WITH WATER RETENTION. SAUCIER NOT REQUIRED WHEN SHRUB OCCURS IN A PLANT BED.
  - WHEN PLANTING CONTAINER GROWN PLANTS-REMOVE THE BALL FROM THE CONTAINER AND LOOSEN THE OUTSIDE LAYER OF THE ROOT SYSTEM BY SCORING WITH A CLEAN KNIFE. DIVIDE ALL GIRTLINGS IN A PLANT BED.
  - SHRUBS TO BE WATERED IMMEDIATELY AFTER PLANTING.



# 1 SHRUB PLANTING DETAIL

SCALE: N.T.S.



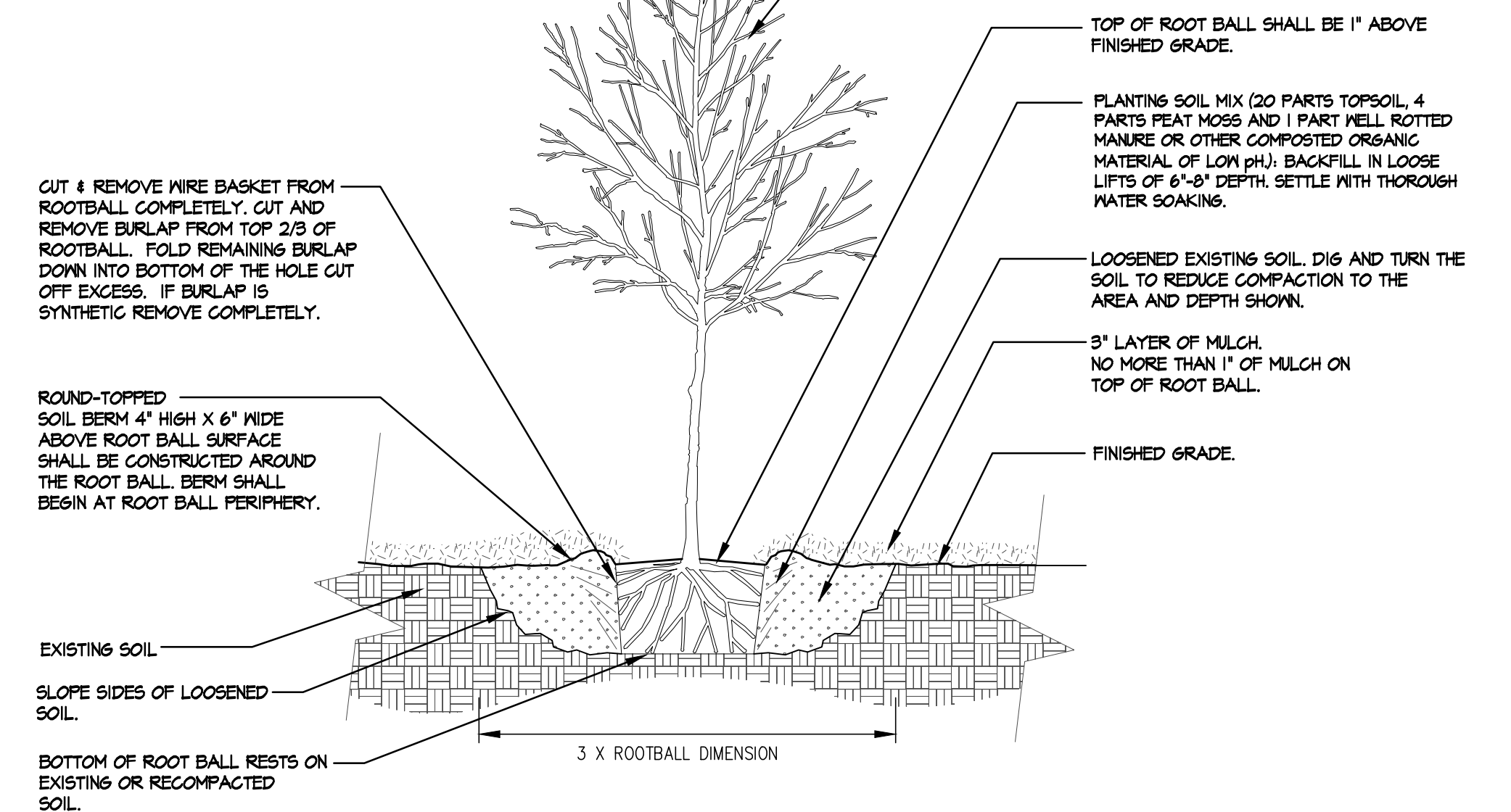
## PLANT LIST:

SYMBOL	BOTANICAL NAME	COMMON NAME	QTY	SIZE	COMMENTS
PLANT MATERIALS					
AXF	ACER X FREEMANI 'AUTUM BLAZE'	AUTUM BLAZE MAPLE	1	2" GAL.	SINGLE LEADER, B&B
HA	HYDRANSEA M. 'INVINCIBELLE SPIRIT II'	INVINCIBELLE SPIRIT II HYDRANGEA	3	5 GAL.	FULL & BUSHY
HAM	HOSTA 'AUTUMN MOON'	AUTUMN MOON HOSTA	5	1 GAL.	-
HM	HYDRANSEA M. 'BLOOMSTRUCK'	BLOOMSTRUCK HYDRANGEA	6	5 GAL.	FULL & BUSHY
HP	HOSTA 'PATRIOT'	PATRIOT HOSTA	6	1 GAL.	-
HS	HEMEROCALLIS STELLA D'ORO	STELLA D'ORO DAYLILY	10	1 GAL.	-
RW	RHODODENDRON WINDBEAM	WINDBEAM RHODODENDRON	4	5 GAL.	FULL & BUSHY

## LANDSCAPE NOTES:

- PRIOR TO THE START OF ANY EXCAVATION FOR THE PROJECT BOTH ON AND OFF THE SITE, THE CONTRACTOR SHALL NOTIFY DIGSAFE AND BE PROVIDED WITH A DIGSAFE NUMBER INDICATING THAT ALL EXISTING UTILITIES HAVE BEEN LOCATED AND MARKED.
- LANDSCAPE CONTRACTOR IS ENCOURAGED TO PROVIDE THE LANDSCAPE ARCHITECT WITH CONCERNS AND/OR SUGGESTIONS WITH REGARDS TO PROPOSED PLANT MATERIAL SELECTION PRIOR TO PLACING A PURCHASE ORDER.
- THE LANDSCAPE CONTRACTOR SHALL SUPPLY ALL PLANT MATERIALS IN QUANTITIES SUFFICIENT TO COMPLETE ALL PLANTINGS SHOWN GRAPHICALLY ON THIS DRAWING. CLARIFY ANY DISCREPANCIES WITH THE LANDSCAPE ARCHITECT PRIOR TO PRICING ANY PLANT MATERIAL.
- ALL PLANT MATERIALS SHALL CONFORM TO THE GUIDELINES ESTABLISHED BY THE LATEST EDITION OF THE AMERICAN ASSOCIATION OF NURSERYMEN'S 'AMERICAN STANDARD OF NURSERY STOCK'.
- ALL PLANT MATERIALS ARE SUBJECT TO THE APPROVAL OF THE OWNER'S REPRESENTATIVE AT THE SITE. PLANTS WHICH ARE REJECTED SHALL BE REMOVED FROM THE SITE IMMEDIATELY AND REPLACED AT NO ADDITIONAL COST TO THE OWNER.
- MULCH FOR PLANT BED TO BE 3" MIN. DEPTH OF 1" TO 2" DIA. WASHED RIVER JACK STONE IN A GRAYISH COLOR. CONTRACTOR TO PROVIDE OWNER'S REPRESENTATIVE WITH A SAMPLE TO REVIEW AND APPROVE PRIOR TO PURCHASE AND INSTALLATION.
- NO PLANTS SHALL BE PLANTED BEFORE ACCEPTANCE OF ROUGH GRADING AND BEFORE CONSTRUCTION HAS BEEN COMPLETED IN THE IMMEDIATE AREA.
- ALL SHRUB GROUPINGS SHALL BE INCORPORATED INTO BEDS. WHERE MULCHED PLANT BED ABUTS LAWN, CONTRACTOR SHALL PROVIDE A TURF CUT EDGE.
- ALL TREES SHALL BEGIN BRANCHING AT 6' HT. MIN.
- ALL PLANT MATERIAL OR REPRESENTATIVE SAMPLES SHALL BE LEGIBLY TAGGED WITH PROPER COMMON AND BOTANICAL NAMES. TAGS SHALL REMAIN ON THE PLANTS UNTIL FINAL ACCEPTANCE.
- INSTALL 18 INCH DEPTH OF HIGH QUALITY LOAM IN SHRUB BEDS. SEE CIVIL PLANS FOR ALL OTHER LOAM AND SEED INSTRUCTIONS.
- CONTRACTOR SHALL BEGIN MAINTENANCE IMMEDIATELY AFTER PLANTING AND WILL CONTINUE UNTIL FINAL ACCEPTANCE. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL MEANS AND METHODS OF WATERING AND MAINTENANCE.
- THE LANDSCAPE CONTRACTOR SHALL GUARANTEE ALL PLANT MATERIALS FOR ONE (1) FULL YEAR FROM DATE OF FINAL ACCEPTANCE.
- SCREENED IMAGES SHOW EXISTING CONDITIONS. WHERE EXISTING CONDITIONS LIE UNDER OR ARE IMPINGED UPON BY PROPOSED BUILDINGS AND OR SITE ELEMENTS, THE EXISTING CONDITION WILL BE REMOVED, ABANDONED AND OR CAPPED OR DEMOLISHED AS REQUIRED.
- SEE DRAWINGS CIVIL PLANS FOR ADDITIONAL INFORMATION.
- THE CONTRACTOR SHALL INSTALL WATERING BAGS SUCH AS THE TREGATOR ON ALL TREES AT THE TIME OF INSTALLATION. THESE BAGS SHALL BECOME THE PROPERTY OF THE OWNER.

NOTES: ALL TREES TO BE STAKED USING BEST PROFESSIONAL PRACTICE.



## 2 TREE PLANTING

SCALE: N.T.S.

THIS PLAN SHALL NOT BE MODIFIED WITHOUT WRITTEN PERMISSION FROM SITE DESIGN ASSOCIATES, ANY ALTERATIONS, OTHERWISE, SHALL BE AT THE USER'S SOLE RISK AND WITHOUT LIABILITY TO SITE DESIGN ASSOCIATES.

REV.	DATE	STATUS	BY	CHKD.	APPD.	REV.	DATE	STATUS	BY	CHKD.	APPD.
A	4/25/25	ISSUED FOR CITY OF BIDDEFORD MINOR SITE PLAN REVIEW - NOT FOR CONSTRUCTION	DEPT.	DEPT.	PBB						



**Site Design Associates**  
Consulting Engineering & Land Planning  
23 Whitney Way Topsham, Maine 04086 Tel: (207) 449-4275  
CLIENT: UNIVERSITY OF NEW ENGLAND  
11 HILLS BEACH ROAD, BIDDEFORD, MAINE 04005

DESIGN: DEPT.	PROJECT: LEONARD HALL RENOVATION
DRAWN: DEPT.	UNE, 11 HILLS BEACH ROAD, BIDDEFORD, ME 04005
CHKD: TWS	LANDSCAPE PLAN
DATE: SEP. 2025	PROJ. NO. 24-216-05
SCALE: 1" = 10'	DWG. NO. L-100

TAX MAP I.D. 52-4

**EROSION AND SEDIMENTATION CONTROL NOTES & DETAILS**

TEMPORARY EROSION AND SEDIMENTATION CONTROL MEASURES INCLUDE THE USE OF STABILIZED CONSTRUCTION ENTRANCE, SEDIMENT BARRIER, EROSION CONTROL MIX, STONE CHECK DAMS, HAY BALE BARRIERS, CATCH BASIN INLET BARRIERS, CATCH BASIN SEDIMENT COLLECTION BAGS, EROSION CONTROL BLANKET, AND TEMPORARY SEEDING AND MULCHING AS REQUIRED. PERMANENT DEVICES INCLUDE THE USE OF RIP RAP AT EXPOSED STORM DRAIN AND CULVERT INLETS AND OUTLETS, RIP RAPPED SLOPES, AND PERMANENT VEGETATION.

**A. GENERAL**

- IT IS ANTICIPATED THAT CONSTRUCTION WILL BEGIN AS SOON AS POSSIBLE FOLLOWING RECEIPT OF NECESSARY PERMITS.
- THE PROJECT SHALL CONFORM TO THE STANDARDS OF THE MAINE CONSTRUCTION GENERAL PERMIT.
- ALL SOIL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE CONSTRUCTED AND MAINTAINED IN ACCORDANCE WITH THE MAINE EROSION AND SEDIMENT CONTROL HANDBOOK FOR CONSTRUCTION: BEST MANAGEMENT PRACTICES PUBLISHED BY THE CUMBERLAND COUNTY SOIL AND WATER CONSERVATION DISTRICT AND THE DEPARTMENT OF ENVIRONMENTAL PROTECTION, MAY 2003, OR AS CURRENTLY REVISED.
- ANY ADDITIONAL EROSION AND SEDIMENTATION CONTROL DEEMED NECESSARY BY THE OWNER'S REPRESENTATIVE, DEPARTMENT OF ENVIRONMENTAL PROTECTION (DEP) PERSONNEL AND/OR MUNICIPAL OFFICIALS SHALL BE INSTALLED BY THE CONTRACTOR.
- THE CONTRACTOR IS RESPONSIBLE FOR ALL FINES RESULTING FROM EROSION OR SEDIMENTATION FROM THE SITE TO SURROUNDING PROPERTIES, WATER BODIES, OR WETLANDS AS A RESULT OF THIS PROJECT.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE REPAIR/REPLACEMENT/MAINTENANCE OF ALL EROSION CONTROL MEASURES UNTIL ALL DISTURBED AREAS ARE STABILIZED TO THE SATISFACTION OF THE ABOVE PERSONNEL. DESCRIPTIONS OF ACCEPTABLE PERMANENT STABILIZATION FOR VARIOUS COVER TYPES FOLLOWS:
  - FOR SEEDED AREAS, PERMANENT STABILIZATION MEANS A 90 DISTURBED AREA WITH MATURE, HEALTHY PLANTS WITH NO EVIDENCE OF WASHING OR RILLING OF THE TOPSOIL.
  - FOR SODDED AREAS, PERMANENT STABILIZATION MEANS THE COMPLETE BINDING OF THE SOD ROOTS INTO THE UNDERLYING SOIL WITH NO SLUMPING OF THE SOD OR DIE-OFF.
  - FOR MULCHED AREAS, PERMANENT MULCHING MEANS TOTAL COVERAGE OF THE EXPOSED AREA WITH AN APPROVED MULCH MATERIAL. EROSION CONTROL MIX MAY BE USED AS MULCH FOR PERMANENT STABILIZATION ACCORDING TO THE APPROVED APPLICATION RATES AND LIMITATIONS.
  - FOR AREAS STABILIZED WITH RIP RAP, PERMANENT STABILIZATION MEANS THAT SLOPES STABILIZED WITH RIP RAP HAVE AN APPROPRIATE BACKING OF A WELL-GRADED GRAVEL OR APPROVED GEOTEXTILE TO PREVENT SOIL MOVEMENT FROM BEHIND THE RIP RAP. STONE MUST BE SIZED APPROPRIATELY.
  - PAVED AREAS. FOR PAVED AREAS, PERMANENT STABILIZATION MEANS THE PLACEMENT OF THE COMPACTED GRAVEL SUBBASE IS COMPLETED.
  - FOR OPEN CHANNELS, PERMANENT STABILIZATION MEANS THE CHANNEL IS STABILIZED WITH MATURE VEGETATION AT LEAST THREE INCHES IN HEIGHT, WITH WELL-GRADED RIP RAP, OR WITH ANOTHER NON-EROSIVE LINING CAPABLE OF WITHSTANDING THE ANTICIPATED FLOW VELOCITIES AND FLOW DEPTHS WITHOUT RELIANCE ON CHECK DAMS TO SLOW FLOW. THERE MUST BE NO EVIDENCE OF SLUMPING OF THE LINING, UNDERCUTTING OF THE BANKS, OR DOWN CUTTING OF THE CHANNEL.

**B. EROSION AND SEDIMENTATION CONTROL MEASURES**

- PRIOR TO THE BEGINNING OF CONSTRUCTION, THE STABILIZED CONSTRUCTION ENTRANCE AND TEMPORARY SILT FENCE SHALL BE INSTALLED AS SHOWN ON THE PLANS OR AS DIRECTED BY THE OWNER'S REPRESENTATIVE. IT IS THE INTENT THAT SEDIMENT BARRIERS BE INSTALLED DOWN GRADIENT OF ALL DISTURBED AREAS OF THE SITE. SEDIMENT BARRIERS SHALL BE INSPECTED IMMEDIATELY AFTER EACH RAINFALL AND AT LEAST DAILY DURING PROLONGED RAINFALL. ANY REQUIRED REPAIRS WILL BE MADE IMMEDIATELY. SEDIMENT DEPOSITS SHALL BE PERIODICALLY REMOVED FROM THE UPSTREAM SIDE OF THE SEDIMENT BARRIERS. THIS SEDIMENT WILL BE SPREAD AND STABILIZED IN AREAS OF THE SITE NOT SUBJECT TO EROSION. SEDIMENT BARRIERS SHALL BE REPLACED AS NECESSARY TO PROVIDE PROPER FILTERING ACTION. IF THERE ARE SIGNS OF UNDERCUTTING AT THE CENTER OR THE EDGES, OR IMPOUNDING OF LARGE VOLUMES OF WATER BEHIND THEM, THEY WILL BE REPLACED WITH A TEMPORARY CRUSHED STONE CHECK DAM.
- ALL CATCH BASINS, NEW OR EXISTING, THAT MAY RECEIVE RUNOFF FROM DISTURBED AREAS MUST BE PROTECTED DURING CONSTRUCTION. INSPECT & CLEAN OUT AS NECESSARY. LEGALLY DISPOSE OF SEDIMENT & REMOVE FLOATABLES WITH OIL ABSORBENT PAD AS APPLICABLE.
- REMOVAL OF SOD, TREES, BUSHES AND OTHER VEGETATION AND SOIL DISTURBANCE WILL BE KEPT TO A MINIMUM WHILE ALLOWING PROPER SITE DEVELOPMENT.
- GRUBBINGS AND ANY UNUSABLE TOPSOIL SHALL BE STRIPPED AND REMOVED FROM THE PROJECT SITE AND DISPOSED OF IN AN APPROVED MANNER.
- ANY SUITABLE TOPSOIL WILL BE STRIPPED AND STOCKPILED FOR REUSE IN FINAL GRADING. TOPSOIL WILL BE STOCKPILED IN A MANNER SUCH THAT NATURAL DRAINAGE IS NOT OBSTRUCTED AND NO OFF-SITE SEDIMENT DAMAGE WILL RESULT. IF A STOCKPILE IS NECESSARY, THE SIDE SLOPES OF THE TOPSOIL STOCKPILE WILL NOT EXCEED 2:1. TOPSOIL STOCKPILES WILL BE TEMPORARILY SEEDED WITH AROOSTOOK RYE, ANNUAL OR PERENNIAL RYE GRASS (DEPENDING ON DATE SEEDED) WITHIN 7 DAYS OF FORMATION, OR TEMPORARILY MULCHED IF SEEDING CANNOT BE DONE WITHIN THE RECOMMENDED SEEDING DATES.
- TEMPORARY DIVERSION BERMS AND DRAINAGE SWALES SHALL BE CONSTRUCTED AS NECESSARY.
- TEMPORARY STABILIZATION SHALL BE CONDUCTED WITHIN 7 DAYS OF INITIAL DISTURBANCE OF SOILS, PRIOR TO ANY RAIN EVENT, AND PRIOR TO ANY WORK SHUT DOWN LASTING MORE THAN ONE DAY. TEMPORARY STABILIZATION INCLUDES SEED, MULCH, OR OTHER NON-ERODABLE COVER. AREAS WITHIN 75 FEET OF WETLANDS SHALL BE TEMPORARILY STABILIZED WITHIN 48 HOURS OR PRIOR TO RAIN EVENT.
- APPLY HAY OR STRAW MULCH AT A RATE OF 2 TONS PER ACRE, AND ANCHOR AS NECESSARY.
- TEMPORARY SEEDING SPECIFICATIONS. WHERE THE SEEDBED HAS BEEN COMPACTED BY CONSTRUCTION OPERATIONS, LOOSEN SOIL TO A DEPTH OF 4 INCHES BEFORE APPLYING FERTILIZER, LIME, AND SEED. APPLY LIMESTONE AT A RATE OF 3 TONS PER ACRE (138 LB. PER 1,000 SQUARE FEET) AND 10-10-10 (N-P205-K20) FERTILIZER AT A RATE OF 600 LBS. PER ACRE (13.8 LB. PER 1,000 SQUARE FEET), UNIFORMLY APPLY SEED AT THE RECOMMENDED SEEDING RATES AND DATES. APPLY HAY OR STRAW MULCH AT A RATE OF 2 TONS PER ACRE, AND ANCHOR AS NECESSARY.

RECOMMENDED TEMPORARY SEEDING DATES AND APPLICATION RATES ARE AS FOLLOWS:

AROOSTOOK RYE: RECOMMENDED SEEDING DATES: 8/15 - 10/1	APPLICATION RATE: 112 LBS./ACRE
ANNUAL RYE GRASS: RECOMMENDED SEEDING DATES: 4/1 - 7/1	APPLICATION RATE: 40 LBS./ACRE
PERENNIAL RYE GRASS: RECOMMENDED SEEDING DATES: 8/15 - 9/15	APPLICATION RATE: 40 LBS./ACRE

10. IF THE AREA WILL REMAIN UNWORKED FOR MORE THAN ONE YEAR OR HAS BEEN BROUGHT TO FINAL GRADE, AND WILL NOT BE BUILT ON, THEN IMMEDIATELY PROVIDE PERMANENT STABILIZATION USING VEGETATION THROUGH PLANTING, SEEDING, SOD, OR THROUGH THE USE OF PERMANENT MULCH OR RIP RAP. IF USING VEGETATION FOR STABILIZATION, SELECT THE

PROPER VEGETATION FOR THE LIGHT, MOISTURE, AND SOIL CONDITIONS. AMEND AREAS OF DISTURBED SUBSOIL WITH TOP SOIL OR OTHER ORGANIC AMENDMENTS, PROTECT SEEDED AREAS WITH MULCH OR, IF NECESSARY EROSION CONTROL BLANKETS, AND SCHEDULE SODDING, PLANTING, AND SEEDING SO TO AVOID DIE-OFF FROM SUMMER DROUGHT AND FALL FROSTS. NEWLY SEEDED OR SODDED AREAS MUST BE PROTECTED FROM VEHICLE TRAFFIC, EXCESSIVE PEDESTRIAN TRAFFIC, AND CONCENTRATED RUNOFF UNTIL THE VEGETATION IS WELL ESTABLISHED. AREAS MUST BE REWORKED AND RESTABILIZED IF GERMINATION IS SPARSE, PLANT COVERAGE IS SPOTTY, OR TOPSOIL EROSION IS EVIDENT.

- PERMANENT SEEDING SPECIFICATION. IF A LANDSCAPE PLAN HAS BEEN PREPARED FOR THE PROJECT, SOIL PREPARATION AND SEEDING OF THAT PLAN SHALL SUPERSEDE THESE GENERAL PERMANENT SEEDING SPECIFICATIONS. IT IS RECOMMENDED THAT PERMANENT SEEDING BE COMPLETED BETWEEN APRIL 1 AND AUGUST 15 OF EACH YEAR. LATE SEASON SEEDING MAY BE DONE BETWEEN AUGUST 15 AND SEPTEMBER 15. AREAS NOT SEEDED OR WHICH DO NOT OBTAIN A SATISFACTORY GROWTH BY OCTOBER 1 SHALL BE SEEDED WITH AROOSTOOK RYE OR MULCHED AT RATES PREVIOUSLY SPECIFIED. SEE WINTER CONDITIONS NOTES FOR SEEDING STABILIZATION AFTER NOVEMBER 1.
  - APPLY TOPSOIL TO A MINIMUM DEPTH OF 6 INCHES. MIX TOPSOIL WITH THE SUBSOIL TO A MINIMUM DEPTH OF 6 INCHES.
  - APPLY LIMESTONE AND FERTILIZER ACCORDING TO SOIL TESTS. IN LIEU OF SOIL TESTS, APPLY GROUND LIMESTONE AT A RATE OF 3 TONS PER ACRE (138 LB. PER 1,000 SQUARE FEET) AND GRANULAR, COMMERCIAL-GRADE, 10-10-10 (N-P205-K20) FERTILIZER AT A RATE OF 600 LBS. PER ACRE (13.4 LBS. PER 1,000 SQUARE FEET).
  - UNIFORMLY APPLY SEED MIXTURE AT THE RECOMMENDED SEEDING RATES AND DATES. APPLY HAY OR STRAW MULCH AT A RATE OF 2 TONS PER ACRE, AND ANCHOR AS NECESSARY.
  - THE SEED MIXTURE FOR LAWN AREAS SHALL CONSIST OF SEEDS PROPORTIONED BY WEIGHT AS FOLLOWS:
    - 10% CREEPING RED FESCUE
    - 30% KENTUCKY BLUEGRASS
    - 60% PERENNIAL RYE GRASS
  - THE SEED MIXTURE FOR WET AREAS SHALL CONSIST OF SEEDS PROPORTIONED BY WEIGHT AS FOLLOWS:
    - 50% REED CANARY GRASS
    - 25% RED TOP
    - 15% CREEPING RED FESCUE
    - 10% PERENNIAL RYE GRASS
- MULCH ALL AREAS SEEDED SO THAT SOIL IS NOT VISIBLE THROUGH THE MULCH REGARDLESS OF THE APPLICATION RATE.
- DITCH LININGS, STONE CHECK DAMS, AND RIP RAP INLET AND OUTLET PROTECTION SHALL BE INSTALLED WITHIN 48 HOURS OF COMPLETING THE GRADING OF THAT SECTION OF DITCH OR INSTALLATION OF CULVERT.
- RIP RAP REQUIRED AT CULVERTS AND STORM DRAIN INLETS AND OUTLETS SHALL CONSIST OF FIELD STONE OR ROUGH UNHEWN QUARRY STONE OF APPROXIMATELY RECTANGULAR SHAPE. STONES SHALL WEIGH FROM 10 LBS. TO 200 LBS. AND 50% OF THE STONES BY VOLUME SHALL EXCEED A UNIT WEIGHT OF APPROXIMATELY 50 LBS.
- EROSION CONTROL BLANKET SHALL BE INSTALLED ON ALL PERMANENT SLOPES STEEPER THAN 3:1. IN THE BASE OF DITCHES NOT OTHERWISE PROTECTED, AND ANY DISTURBED AREAS WITHIN 100 FEET OF A PROTECTED NATURAL RESOURCE (E.G. WETLANDS AND WATER BODIES), EROSION CONTROL BLANKET SHALL BE INSTALLED IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS.
- TEMPORARY CONTROL MEASURES, SUCH AS SILT FENCE, SHALL BE REMOVED WITHIN 30 DAYS AFTER PERMANENT STABILIZATION IS ATTAINED.

**C. WINTER CONDITIONS**

"WINTER CONSTRUCTION" IS CONSTRUCTION ACTIVITY PERFORMED DURING THE PERIOD FROM NOVEMBER 1 THROUGH APRIL 15. IF AREAS WITHIN THE CONSTRUCTION ACTIVITY ARE NOT STABILIZED WITH TEMPORARY OR PERMANENT MEASURES OUTLINED ABOVE BY NOVEMBER 15, THEN THE SITE MUST BE PROTECTED WITH ADDITIONAL STABILIZATION MEASURES THAT ARE SPECIFIC TO WINTER CONDITIONS. NO MORE THAN ONE ACRE OF THE SITE MAY BE WITHOUT STABILIZATION AT ONE TIME.

- AREAS WITHIN 100 FEET OF A PROTECTED NATURAL RESOURCE MUST BE PROTECTED WITH A DOUBLE ROW OF SEDIMENT BARRIERS.
- HAY MULCH SHALL BE APPLIED AT TWICE THE STANDARD TEMPORARY STABILIZATION RATE. AT THE END OF EACH CONSTRUCTION DAY, AREAS THAT HAVE BEEN BROUGHT TO FINAL GRADE MUST BE STABILIZED. MULCH MAY NOT BE SPREAD ON TOP OF SNOW.
- AFTER NOVEMBER 1 OR THE FIRST KILLING FROST FOR THE REGION AND BEFORE SNOW FALL, ALL EXPOSED AND DISTURBED AREAS NOT TO UNDERGO FURTHER DISTURBANCE ARE TO HAVE DORMANT SEEDING. THE DORMANT SEEDING METHOD: PREPARE THE SEEDBED, LIME AND FERTILIZE, APPLY THE SELECTED PERMANENT SEED MIXTURE AT DOUBLE THE REGULAR SEEDING RATE, AND MULCH AND ANCHOR. DORMANT SEEDINGS NEED TO BE ANCHORED EXTREMELY WELL ON SLOPES. DITCH BASES AND AREAS OF CONCENTRATED FLOWS. DORMANT SEEDING REQUIRES INSPECTION AND RESEEDING AS NEEDED IN THE SPRING. ALL AREAS WHERE COVER IS INADEQUATE MUST BE IMMEDIATELY RESEEDED AND MULCHED AS SOON AS POSSIBLE.

- ALL VEGETATED DITCH LINES THAT HAVE NOT BEEN STABILIZED BY NOVEMBER 1, OR WILL BE WORKED DURING THE WINTER CONSTRUCTION PERIOD, MUST BE STABILIZED WITH AN APPROPRIATE STONE LINING BACKED BY AN APPROPRIATE GRAVEL BED OR GEOTEXTILE UNLESS SPECIFICALLY RELEASED FROM THIS STANDARD BY THE MAINE DEPARTMENT OF ENVIRONMENTAL PROTECTION.
- MULCH NETTING MUST BE USED TO ANCHOR MULCH ON ALL SLOPES GREATER THAN 8% UNLESS EROSION CONTROL BLANKETS OR EROSION CONTROL MIX IS BEING USED ON THESE SLOPES.

**D. HOUSEKEEPING**

- SPILL PREVENTION CONTROLS MUST BE USED TO PREVENT POLLUTANTS FROM BEING DISCHARGED FROM MATERIALS ON SITE, INCLUDING STORAGE PRACTICES TO MINIMIZE EXPOSURE OF THE MATERIALS TO STORMWATER, AND APPROPRIATE SPILL PREVENTION, CONTAINMENT, AND RESPONSE PLANNING AND IMPLEMENTATION.
- GROUNDWATER PROTECTION. DURING CONSTRUCTION, LIQUID PETROLEUM PRODUCTS AND OTHER HAZARDOUS MATERIALS WITH THE POTENTIAL TO CONTAMINATE GROUNDWATER MAY NOT BE STORED OR HANDLED IN AREAS OF THE SITE DRAINING TO AN INFILTRATION AREA. AN "INFILTRATION AREA" IS ANY AREA OF THE SITE THAT BY DESIGN OR AS A RESULT OF SOILS, TOPOGRAPHY AND OTHER RELEVANT FACTORS, ACCUMULATES RUNOFF THAT INFILTRATES INTO THE SOIL. DIKES, BERMS, SUMPS, AND OTHER FORMS OF SECONDARY CONTAINMENT THAT PREVENT DISCHARGE TO GROUNDWATER MAY BE USED TO ISOLATE PORTIONS OF THE SITE FOR THE PURPOSES OF STORAGE AND HANDLING OF THESE MATERIALS.
- FUGITIVE SEDIMENT AND DUST. ACTIONS MUST BE TAKEN TO ENSURE THAT ACTIVITIES DO NOT RESULT IN NOTICEABLE EROSION OF SOILS OR FUGITIVE DUST EMISSIONS DURING OR AFTER CONSTRUCTION. OIL MAY NOT BE USED FOR DUST CONTROL.
- DEBRIS AND OTHER MATERIAL, LITTER, CONSTRUCTION DEBRIS, AND CONSTRUCTION CHEMICALS EXPOSED TO STORM WATER, MUST BE PREVENTED FROM BECOMING A POLLUTANT SOURCE.
- TRENCH OR FOUNDATION DE-WATERING. TRENCH DE-WATERING IS THE REMOVAL OF WATER FROM TRENCHES, FOUNDATIONS, COFFER DAMS, PONDS AND OTHER AREAS WITHIN THE CONSTRUCTION AREA THAT RETAIN WATER AFTER EXCAVATION. IN MOST CASES THE COLLECTED WATER IS HEAVILY SILTED AND HINDERS CORRECT AND SAFE CONSTRUCTION PRACTICES. THE COLLECTED WATER REMOVED FROM THE PONDED AREA,

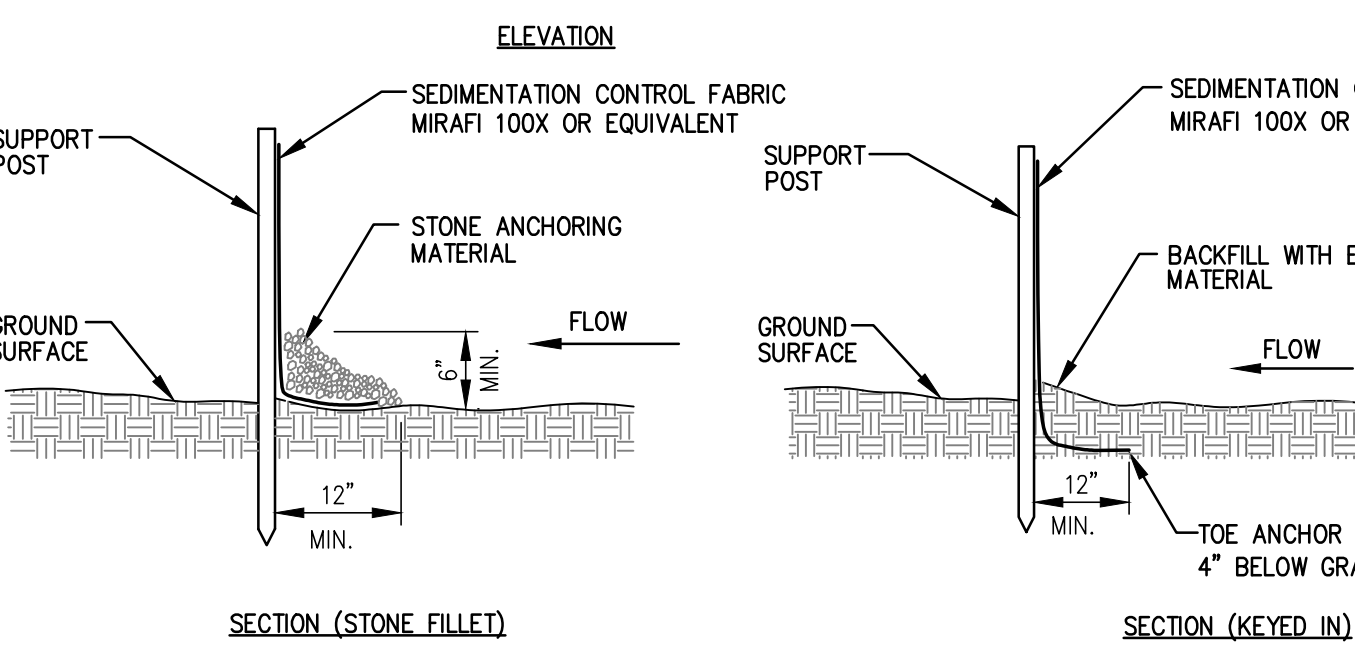
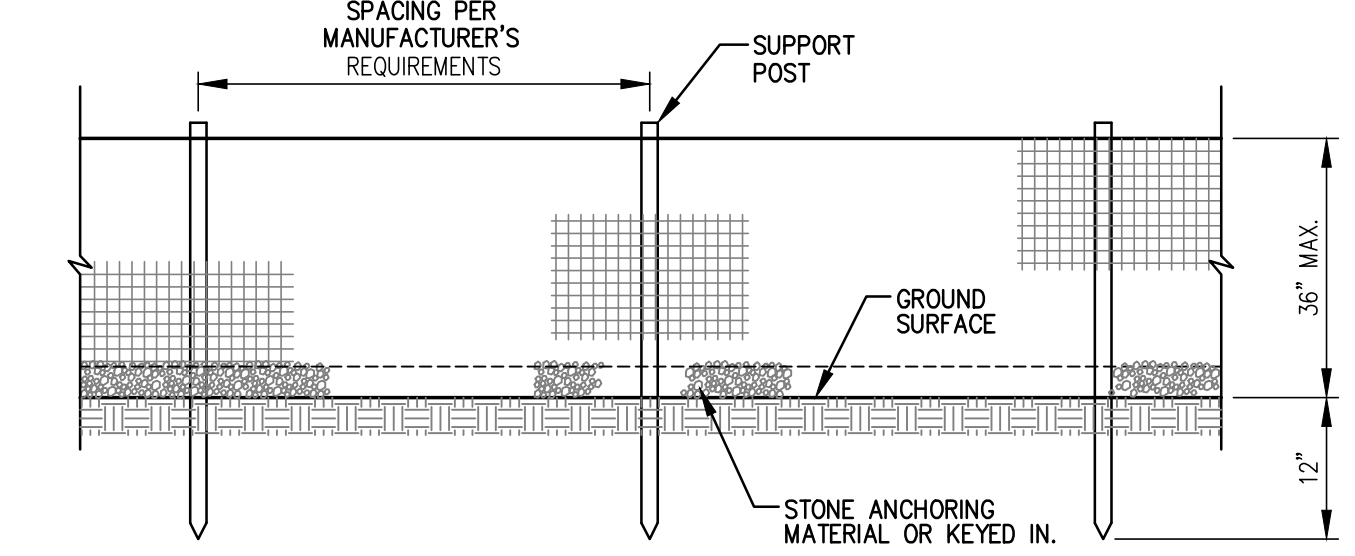
EITHER THROUGH GRAVITY OR PUMPING, MUST BE SPREAD THROUGH NATURAL WOODED BUFFERS OR REMOTE AREAS THAT ARE SPECIFICALLY DESIGNATED TO COLLECT THE MAXIMUM AMOUNT OF SEDIMENT POSSIBLE, LIKE A COFFER DAM SEDIMENTATION BASIN. AVOID ALLOWING THE WATER TO FLOW OVER DISTURBED AREAS OF THE SITE.

**E. INSPECTION AND MAINTENANCE**

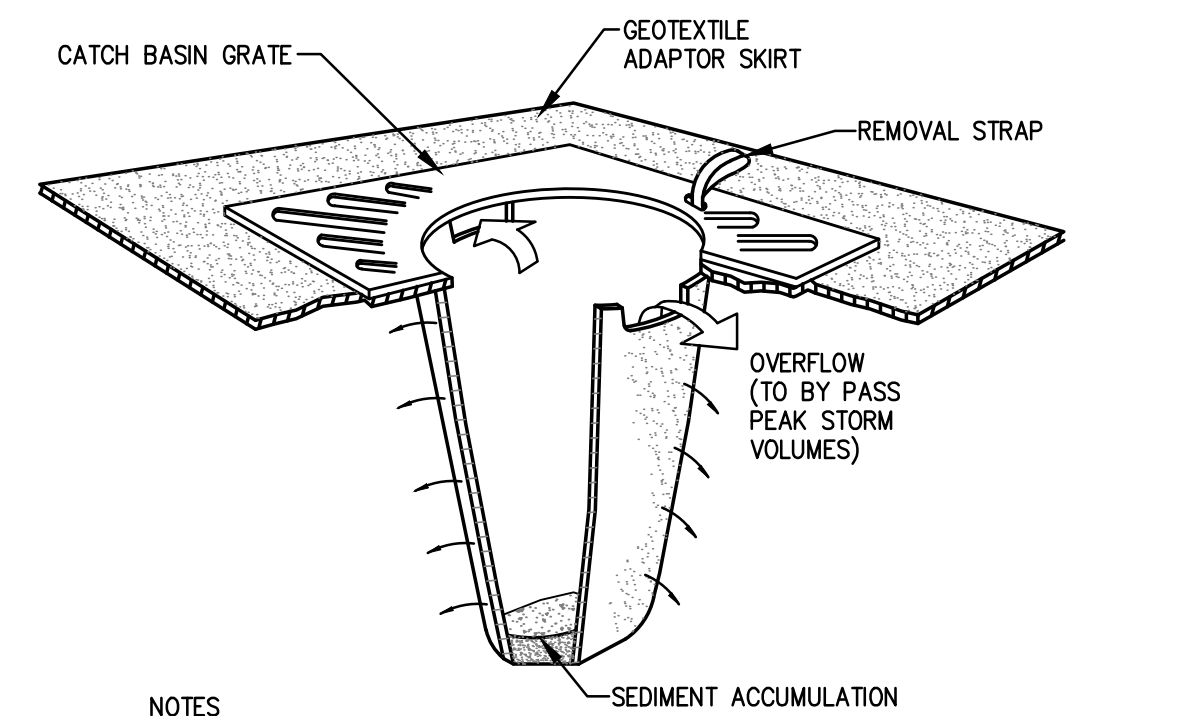
- INSPECT DISTURBED AND IMPERVIOUS AREAS, EROSION AND STORM WATER CONTROL MEASURES, AREAS USED FOR STORAGE THAT ARE EXPOSED TO PRECIPITATION, AND LOCATIONS WHERE VEHICLES ENTER OR EXIT THE SITE AT LEAST ONCE A WEEK AS WELL AS BEFORE AND AFTER STORM EVENTS OF 0.5" IN 24 HOURS AND GREATER, AND PRIOR TO COMPLETION OF PERMANENT STABILIZATION. A PERSON WITH KNOWLEDGE OF EROSION AND STORM WATER CONTROLS, INCLUDING THE STANDARDS IN THE MAINE CONSTRUCTION GENERAL PERMIT AND ANY DEP OR MUNICIPAL COMPANION DOCUMENTS, MUST CONDUCT THE INSPECTION. THIS PERSON MUST BE IDENTIFIED IN THE INSPECTION LOG. IF BEST MANAGEMENT PRACTICES BMPs NEED TO BE MODIFIED OR IF ADDITIONAL BMPs ARE NECESSARY, IMPLEMENTATION MUST BE COMPLETED WITHIN 7 CALENDAR DAYS AND PRIOR TO ANY STORM EVENT (RAINFALL). ALL MEASURES MUST BE MAINTAINED IN EFFECTIVE OPERATING CONDITION UNTIL AREAS ARE PERMANENTLY STABILIZED.
- AN INSPECTION AND MAINTENANCE LOG MUST BE KEPT SUMMARIZING THE SCOPE OF THE INSPECTION, NAME AND QUALIFICATIONS OF THE PERSON PERFORMING THE INSPECTION, DATE, AND MAJOR OBSERVATIONS RELATING TO OPERATION OF EROSION AND SEDIMENTATION CONTROLS AND POLLUTION PREVENTION MEASURES. MAJOR OBSERVATIONS MUST INCLUDE: BMPs THAT NEED TO BE MAINTAINED, LOCATION(S) OF BMPs THAT FAILED TO OPERATE AS DESIGNED OR PROVED INADEQUATE FOR A PARTICULAR LOCATION, AND LOCATION(S) WHERE ADDITIONAL BMPs ARE NEEDED THAT DID NOT EXIST AT THE TIME OF THE INSPECTION. FOLLOW-UP TO CORRECT DEFICIENCIES OR ENHANCE CONTROLS MUST ALSO BE INDICATED IN THE LOG AND DATED; INCLUDING WHAT ACTION WAS TAKEN AND WHEN.

**CONSTRUCTION SEQUENCE**

- INSTALL EROSION CONTROL MEASURES.
- DISCONNECT UTILITIES, DEMOLISH, REMOVE PAVEMENT, CLEAR AND GRUB OPEN AREAS.
- INSTALL PROPOSED UTILITIES, BRING GRADE TO SUBGRADE.
- CONSTRUCT BUILDING.
- CONSTRUCT PAVED AREAS AND WALKS.
- INSTALL PLANT MATERIAL AND THEN LOAM, SEED AND MULCH IN DISTURBED AREAS.
- ONCE DISTURBED AREAS ARE PERMANENTLY STABILIZED REMOVE TEMPORARY EROSION CONTROL MEASURES SUCH AS SILT FENCE.



**1 SILT FENCE DETAIL**  
C-400 NOT TO SCALE

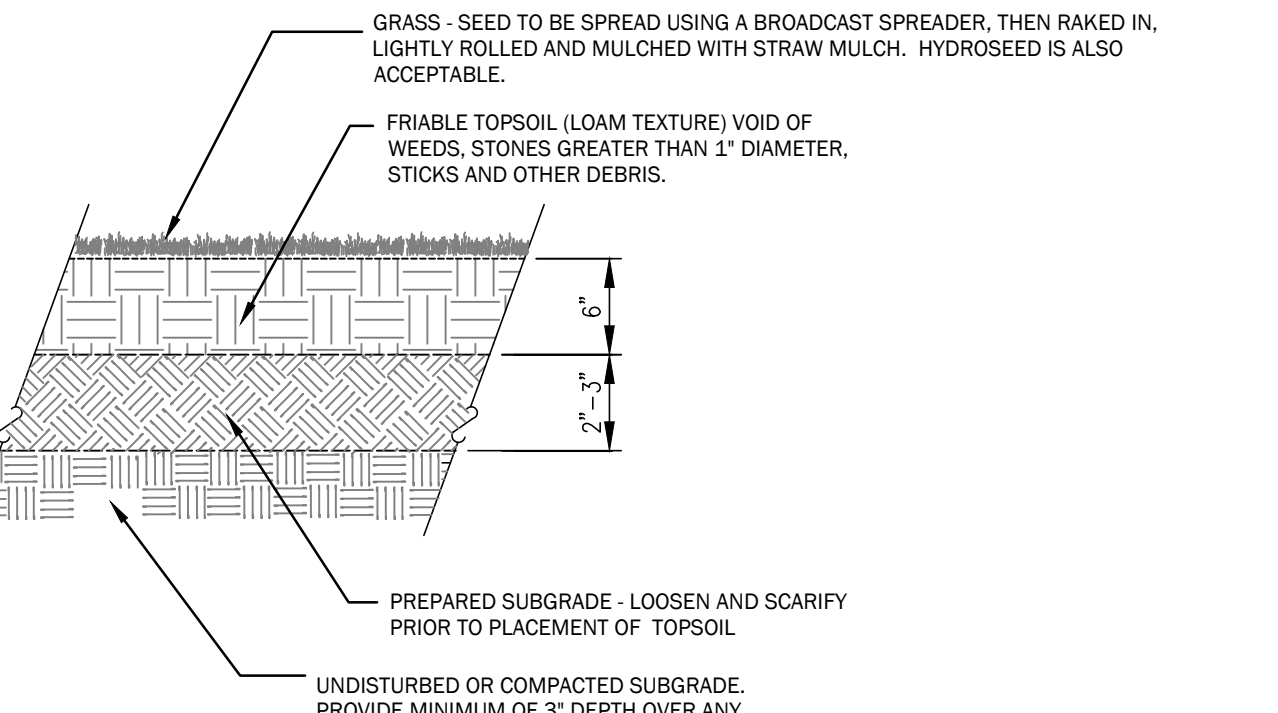


- NOTES**
- CATCH BASIN PROTECTION TO BE "SILTSTACK" (BY ACF ENVIRONMENTAL) OR "STREAM GUARD" (BY FOSS ENVIRONMENTAL SERVICES).
  - INSERT TO BE EMPTIED IN AN APPROVED MANNER WHEN IT IS 1/2 FULL OF SEDIMENT.
  - INSPECT INSERT AFTER ALL RAINFALL EVENTS, REPAIR AND MAINTAIN AS REQUIRED.

**2 CATCH BASIN INLET PROTECTION DETAIL**  
C-400 NOT TO SCALE

- NOTES:**
- THE CONTRACTOR SHALL PROVIDE TOPSOIL (LOAM) MEETING THE FOLLOWING SPECIFICATIONS.
    - NATURAL, FERTILE LOAM TYPICAL OF CULTIVATED TOPSOIL OF THE LOCALITY, CONTAINING NOT LESS THAN 3.5 PERCENT OR MORE THAN 8 PERCENT BY WEIGHT, OF DECAYED ORGANIC MATTER (HUMUS) AS DETERMINED BY ASTM F1647.
    - OBTAIN FROM A WELL DRAINED ARABLE SITE, FREE OF SUBSOIL, EARTH CLODS, LARGE STONES, STICKS, STUMPS, CLAY LUMPS, ROOTS, OR OTHER OBJECTIONABLE, EXTRANEOUS MATERIAL OR DEBRIS. SCREEN TOPSOIL TO A MAXIMUM STONE SIZE OF ONE INCH.
    - TOPSOIL SHALL BE FREE OF QUACK GRASS RHIZOMES, AGROPYRON REPENS, AND THE NUT-LIKE TUBERS OF NITRAGASS, CIPERUS ESCULENTUS, AND ALL OTHER PRIMARY NOXIOUS WEEDS.
    - TOPSOIL SHALL HAVE A PH OF NOT LESS THAN 6.0 OR GREATER THAN 6.8. AMEND WITH LIME AS REQUIRED.
    - TOPSOIL SHALL HAVE A LOAM TEXTURE CLASSIFICATION. TOPSOIL (LOAM) SHALL CONFORM TO THE FOLLOWING PARTICLE SIZE DISTRIBUTION, AS DETERMINED BY PIPETTE METHOD IN COMPLIANCE WITH ASTM F1632.
      - a. SAND: 40-60 PERCENT.
      - b. SILT: 30-40 PERCENT.
      - c. CLAY: 5-20 PERCENT.
    - DO NOT DELIVER OR USE TOPSOIL WHILE IN A FROZEN OR MUDDY CONDITION.

IN LIEU OF PROVIDING AND FOLLOWING THE SOIL ANALYSIS REQUIRED IN NOTE 1 ABOVE THE CONTRACTOR CAN INSTEAD ELECT TO INCORPORATE THE FOLLOWING INTO THE TOP 6 INCHES OF TOPSOIL: 20 LBS. OF 10-20-10 FERTILIZER PER 1,000 S.F., 70 LBS. OF MAGNESIUM LIME PER 1,000 S.F., AND 3 CUBIC YARDS OF COMPOST PER 1,000 S.F.



**3 LAWN INSTALLATION DETAIL**  
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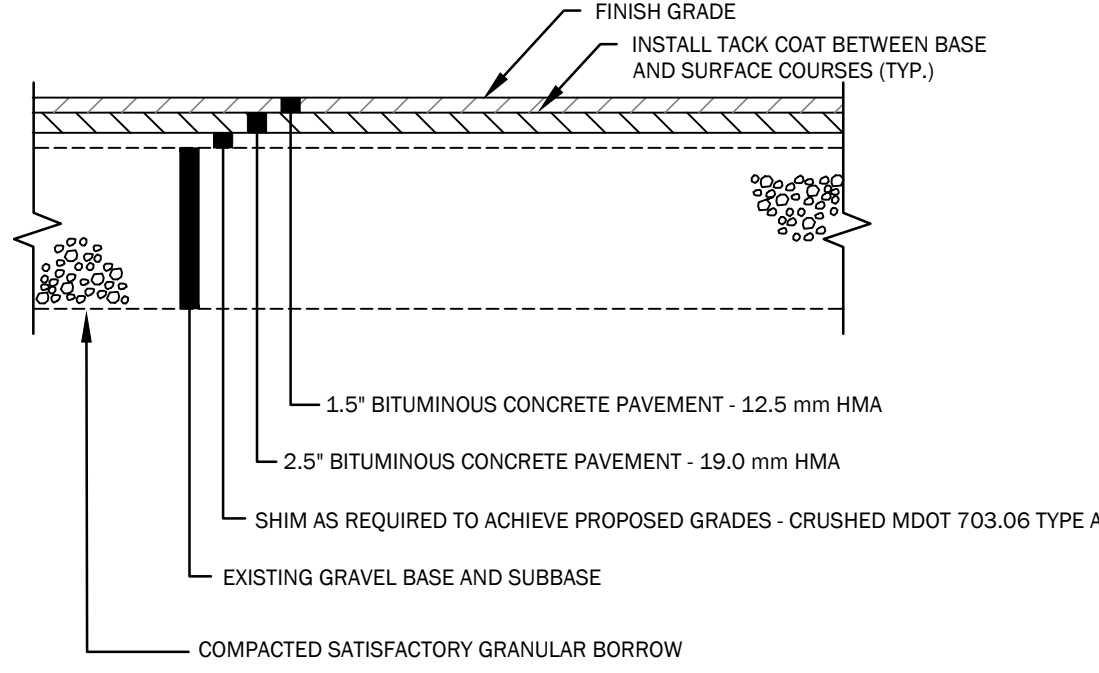
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**THIS PLAN SHALL NOT BE MODIFIED WITHOUT WRITTEN PERMISSION FROM SITE DESIGN ASSOCIATES, ANY ALTERATIONS, OTHERWISE, SHALL BE AT THE USER'S SOLE RISK AND WITHOUT LIABILITY TO SITE DESIGN ASSOCIATES.**

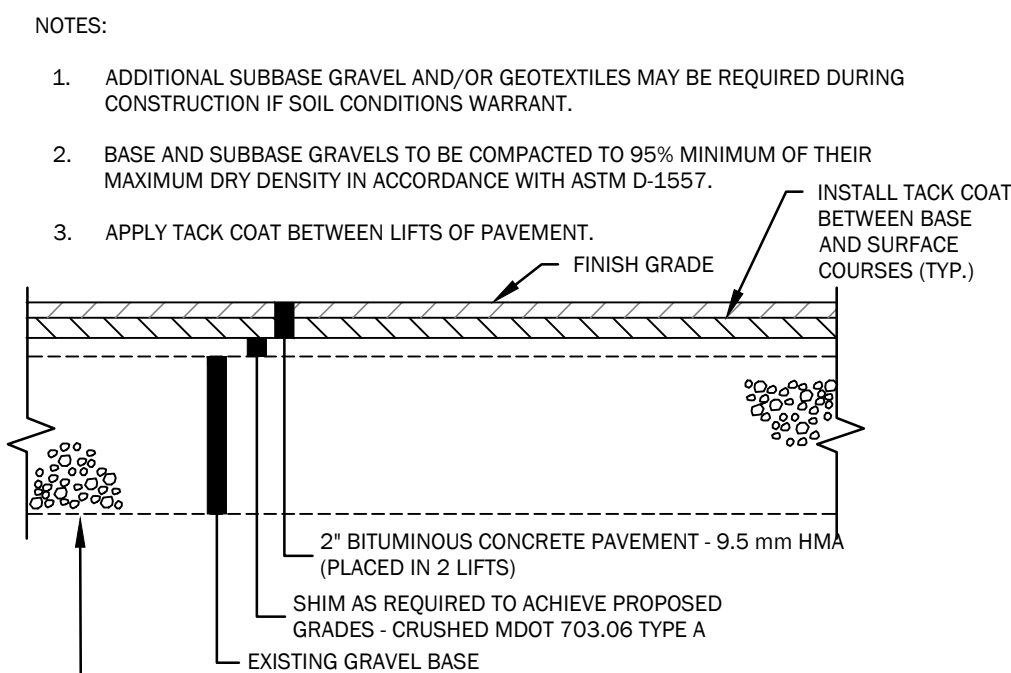
TAX MAP I.D. 52-4

								<b>Site Design Associates</b> Consulting Engineering & Land Planning				DESIGN: DEPT.		PROJECT: <b>LEONARD HALL RENOVATION</b> UNE, 11 HILLS BEACH ROAD, BIDDEFORD, ME 04005			
												DRAWN: DEPT.					
												23 Whitney Way Topsham, Maine 04086 Tel: (207) 449-4275				CHKD: TWS	
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												DWG. NO.					

- NOTES:
- ADDITIONAL SUBBASE GRAVEL AND/OR GEOTEXTILES MAY BE REQUIRED DURING CONSTRUCTION IF SOIL CONDITIONS WARRANT.
  - BASE AND SUBBASE GRAVELS TO BE COMPACTED TO 95% MINIMUM OF THEIR MAXIMUM DRY DENSITY IN ACCORDANCE WITH ASTM D-1557.
  - APPLY TACK COAT BETWEEN LIFTS OF PAVEMENT.
  - PAVEMENT AND GRAVEL BASE/SUBBASE DEPTHS MAY VARY SUBJECT TO FINAL GEOTECHNICAL RECOMMENDATIONS.

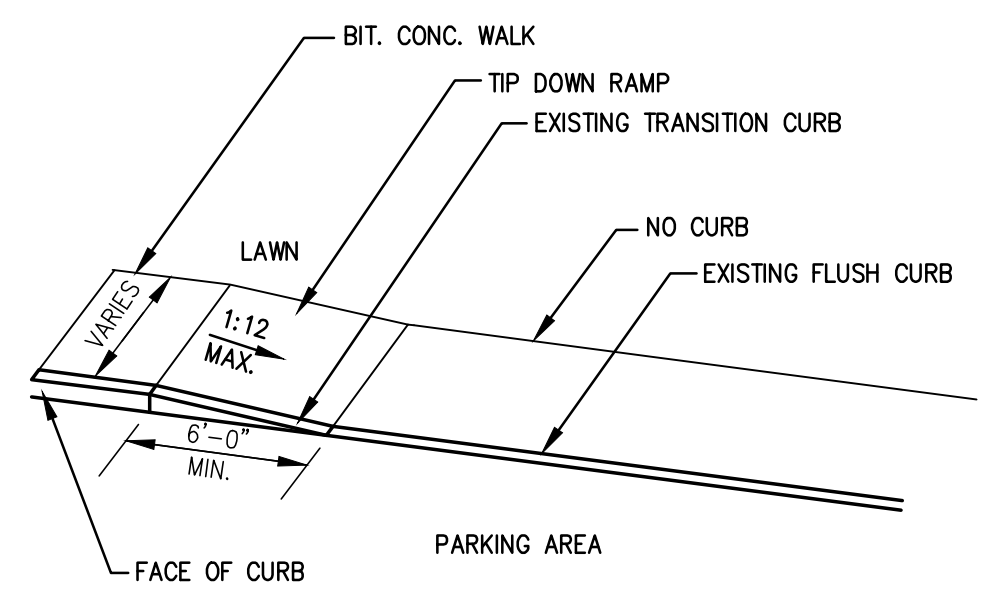


1 DRIVE AND PARKING AREA REPAVING DETAIL  
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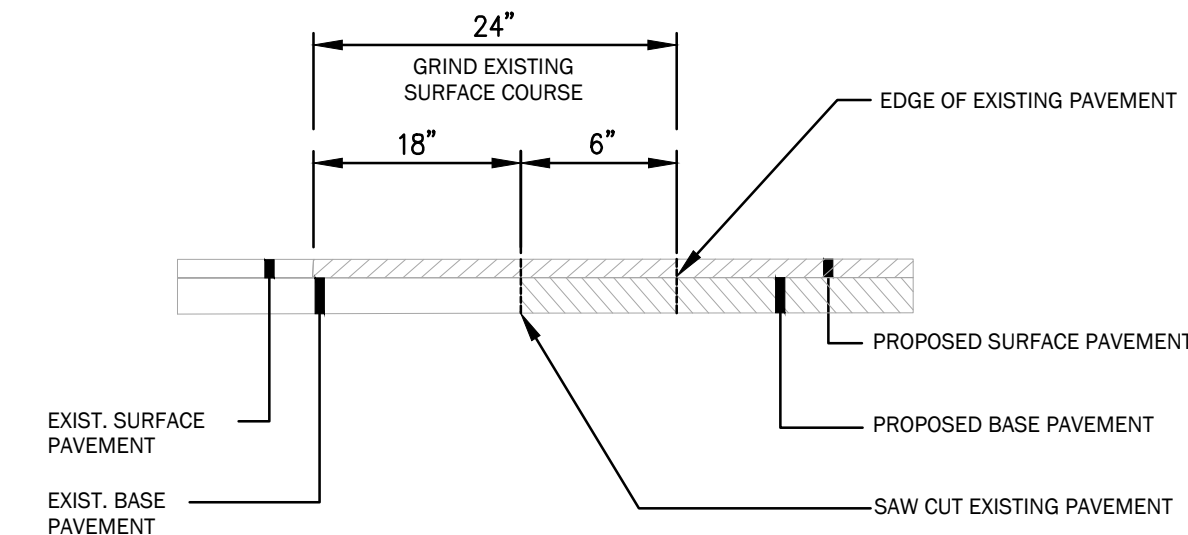


2 PAVED WALKWAY DETAIL  
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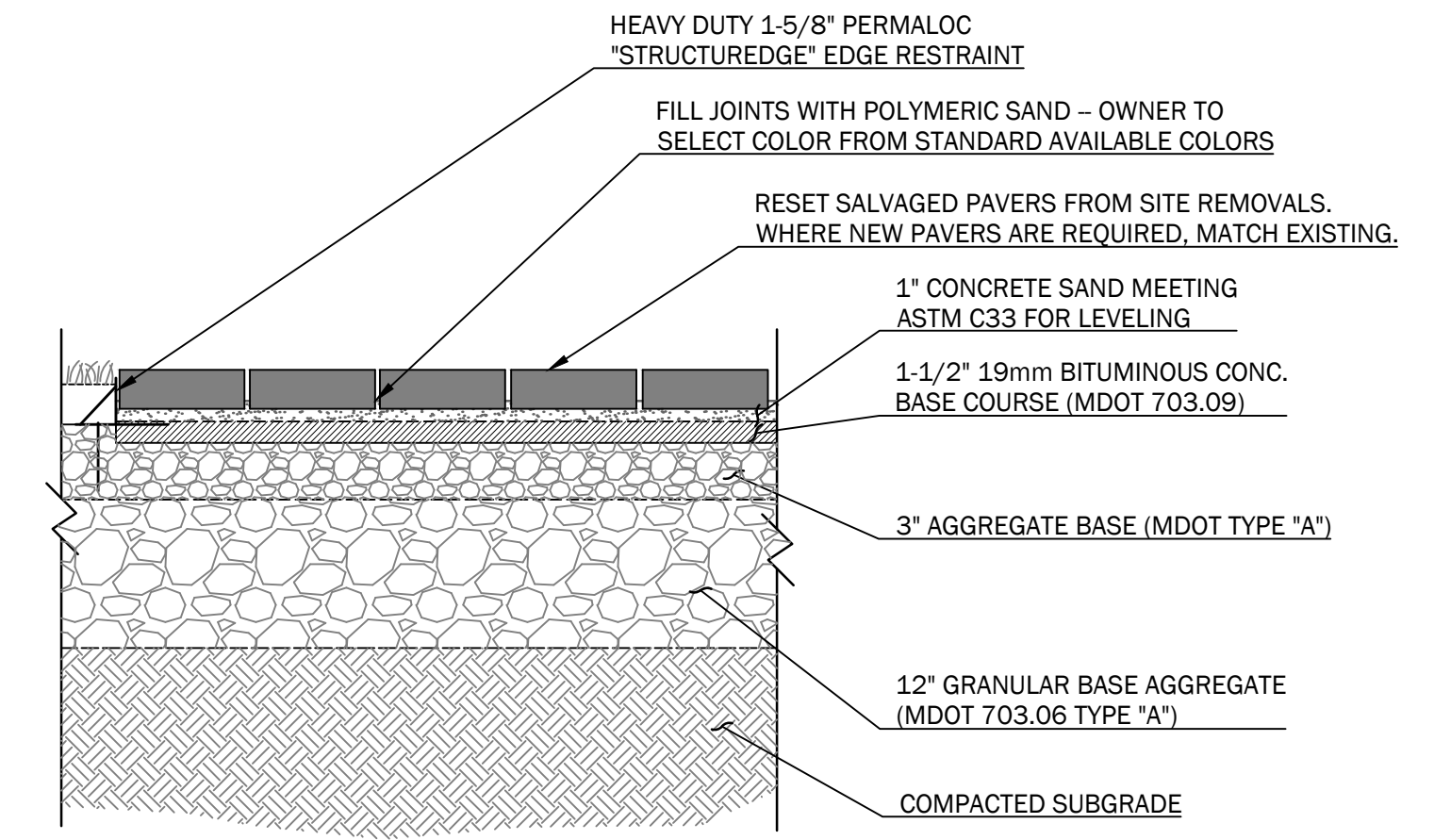
- NOTES:
- DIMENSIONS SHOWN AT EDGE OF ROAD ARE FIXED.
  - RAMP CROSS SECTION TO BE THE SAME AS ADJACENT SIDEWALK; I.E. DEPTH OF SURFACE AND FOUNDATION.
  - DIMENSIONS ARE SUBJECT TO CHANGE IN FIELD. ALL SLOPES AND DIMENSIONS TO COMPLY WITH A.D.A. REQUIREMENTS.



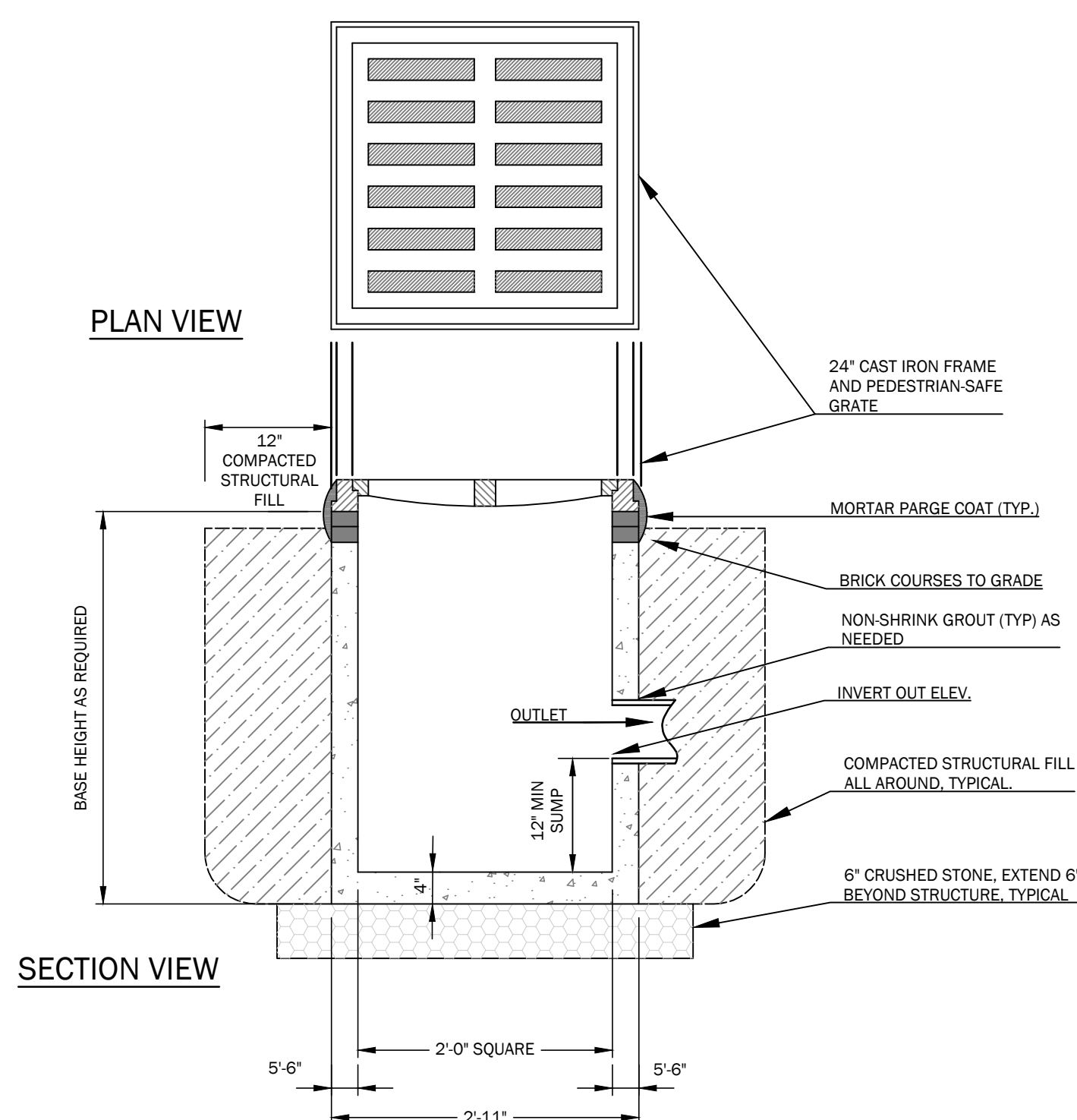
3 CURB RAMP DETAIL  
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4 HMA PAVEMENT SHI LAP JOINT  
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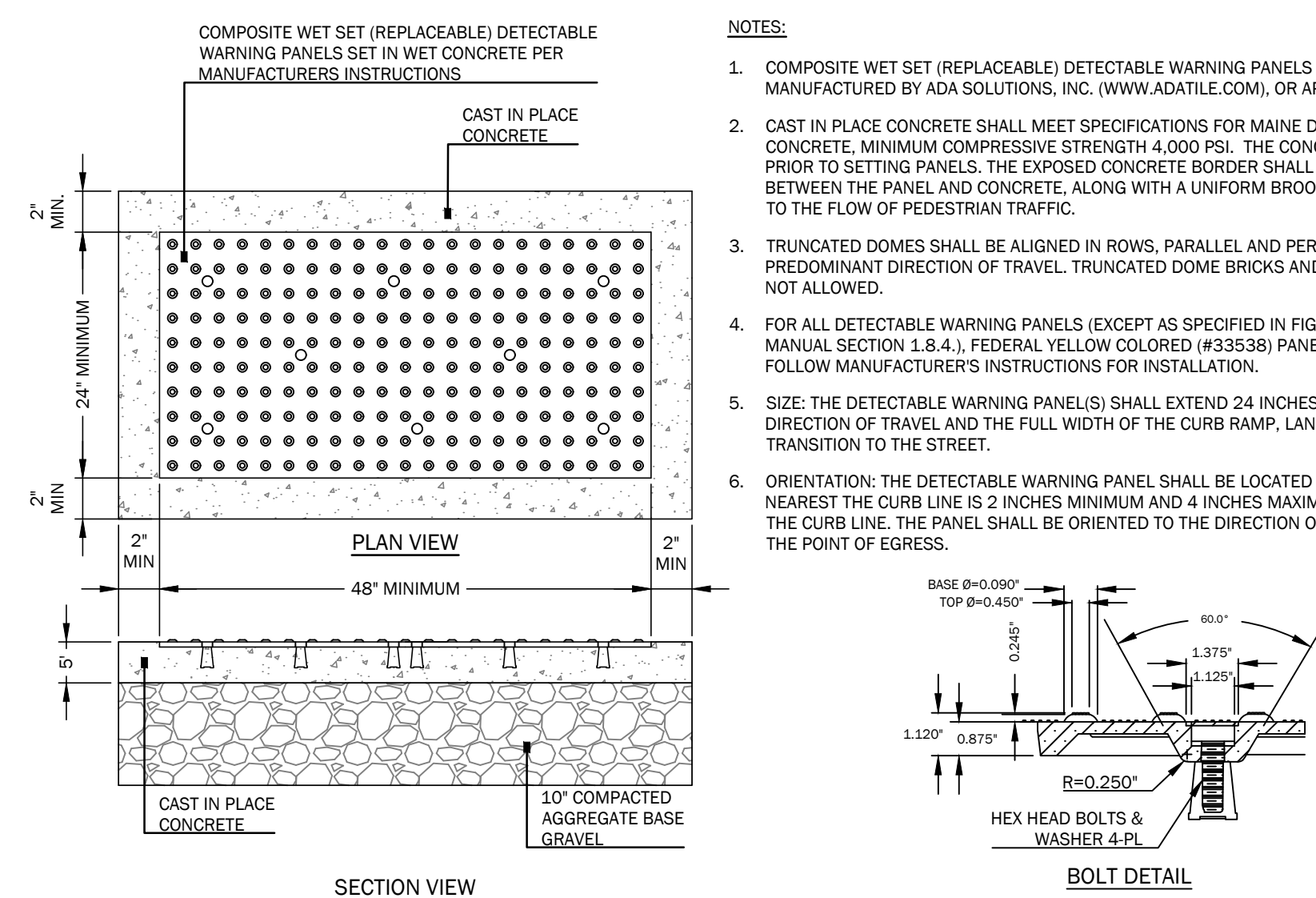


5 PRECAST CONCRETE PAVERS  
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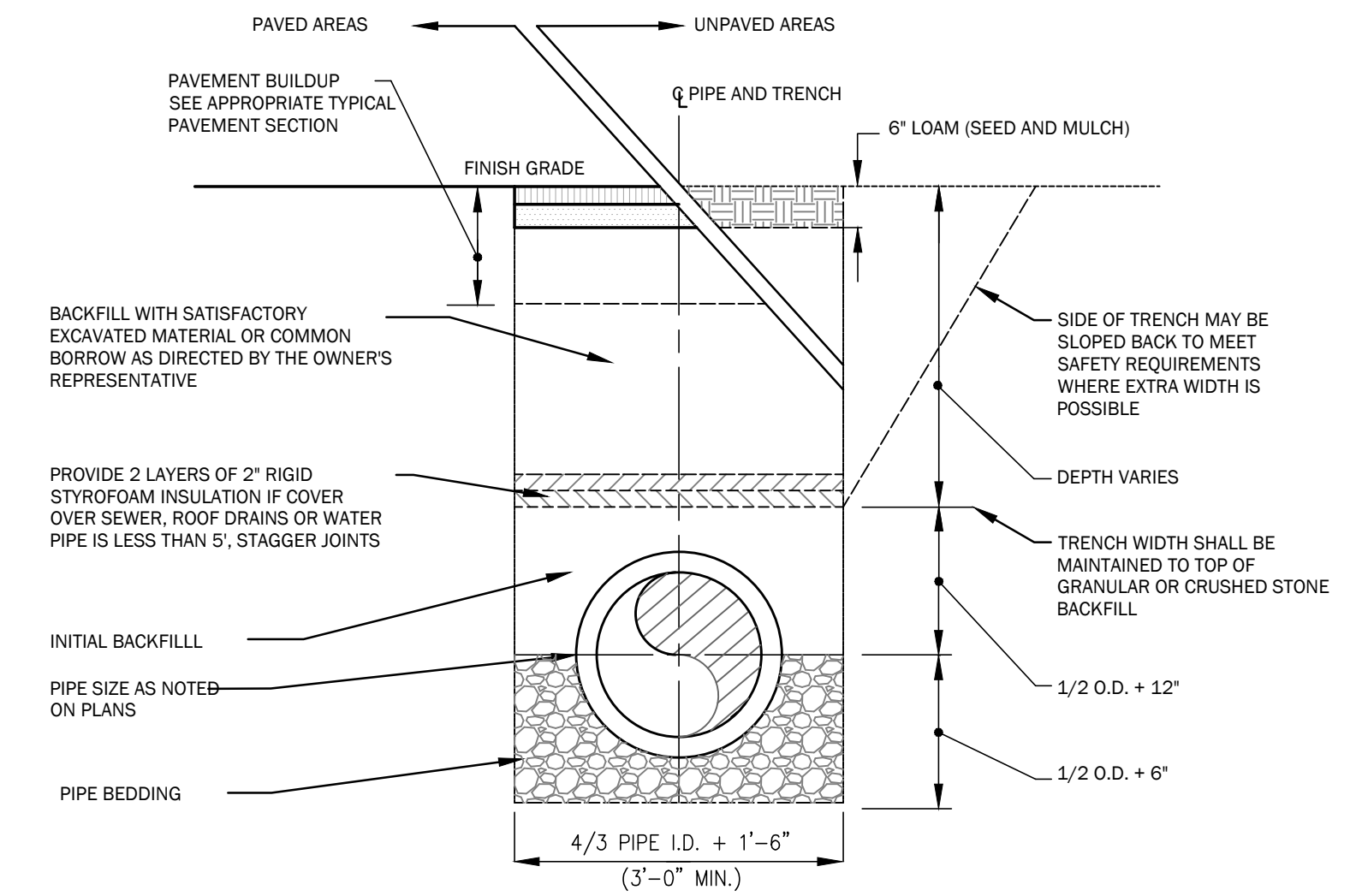
- NOTES:
- CONCRETE 5000 PSI AFTER 28 DAYS.
  - REINFORCING: 1 LAYER 4x4 / 4x4 WWM.
  - FIELD INLET IS USED FOR SHALLOW, OFF-DRIVE, DEAD END DRAINAGE AREAS.

6 FIELD INLET  
C-401 NOT TO SCALE



- NOTES:
- COMPOSITE WET SET (REPLACEABLE) DETECTABLE WARNING PANELS SHALL BE AS MANUFACTURED BY ADA SOLUTIONS, INC. (WWW.ADATILE.COM), OR APPROVED EQUAL.
  - CAST IN PLACE CONCRETE SHALL MEET SPECIFICATIONS FOR MAINE D.O.T. CLASS A STRUCTURAL CONCRETE, MINIMUM COMPRESSIVE STRENGTH 4,000 PSI. THE CONCRETE SHALL BE SEALED PRIOR TO SETTING PANELS. THE EXPOSED CONCRETE BORDER SHALL RECEIVE A GROOVED EDGE BETWEEN THE PANEL AND CONCRETE, ALONG WITH A UNIFORM BRUSH FINISH PERPENDICULAR TO THE FLOW OF PEDESTRIAN TRAFFIC.
  - TRUNCATED DOMES SHALL BE ALIGNED IN ROWS, PARALLEL AND PERPENDICULAR TO THE PREDOMINANT DIRECTION OF TRAVEL. TRUNCATED DOME BRICKS AND GRANITE PAVERS ARE NOT ALLOWED.
  - FOR ALL DETECTABLE WARNING PANELS (EXCEPT AS SPECIFIED IN FIGURE 1-7A AND TECHNICAL MANUAL SECTION 1.8.4), FEDERAL YELLOW COLORED (#33538) PANELS SHALL BE USED. FOLLOW MANUFACTURER'S INSTRUCTIONS FOR INSTALLATION.
  - SIZE: THE DETECTABLE WARNING PANEL(S) SHALL EXTEND 24 INCHES MINIMUM IN THE DIRECTION OF TRAVEL AND THE FULL WIDTH OF THE CURB RAMP, LANDING, OR BLENDED TRANSITION TO THE STREET.
  - ORIENTATION: THE DETECTABLE WARNING PANEL SHALL BE LOCATED SO THAT THE EDGE NEAREST THE CURB LINE IS 2 INCHES MINIMUM AND 4 INCHES MAXIMUM FROM THE BACK OF THE CURB LINE. THE PANEL SHALL BE ORIENTED TO THE DIRECTION OF TRAVEL AS IDENTIFIED BY THE POINT OF EGRESS.

7 SIDEWALK RAMP DETECTABLE WARNING PANEL  
C-401 NOT TO SCALE

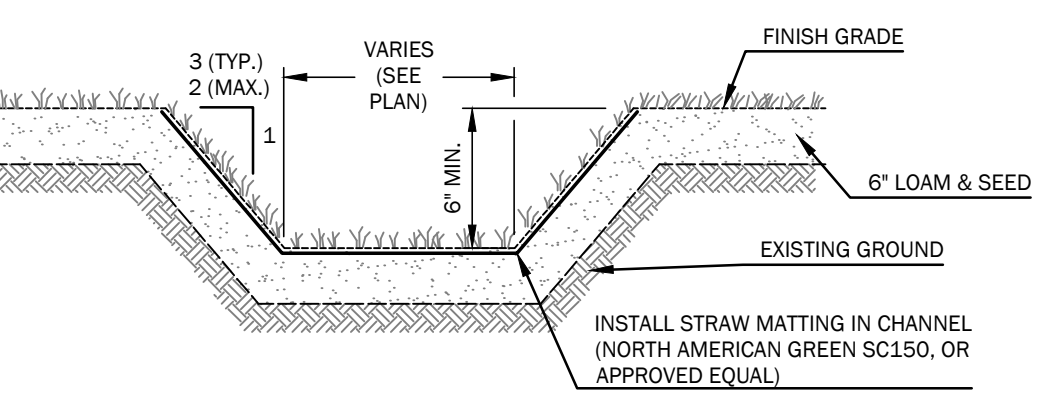


TRENCH BACKFILL SCHEDULE

PIPE MATERIAL	PIPE BEDDING	INITIAL BACKFILL	BACKFILL
HDPE	3/4" CRUSHED STONE	3/4" CRUSHED STONE	***EXCAVATED MATERIAL OR GRANULAR BORROW
PVC	3/4" CRUSHED STONE	3/4" CRUSHED STONE	***EXCAVATED MATERIAL OR GRANULAR BORROW
DUCTILE IRON	GRANULAR MATERIAL	GRANULAR MATERIAL	***EXCAVATED MATERIAL OR GRANULAR BORROW
COPPER	SAND	SAND	***EXCAVATED MATERIAL OR GRANULAR BORROW

\*\*\*EXCAVATED MATERIAL MUST BE REVIEWED AND APPROVED BY THE OWNER'S REPRESENTATIVE PRIOR TO INSTALLATION.  
GRANULAR MATERIAL TO BE SAND OR GRAVEL.

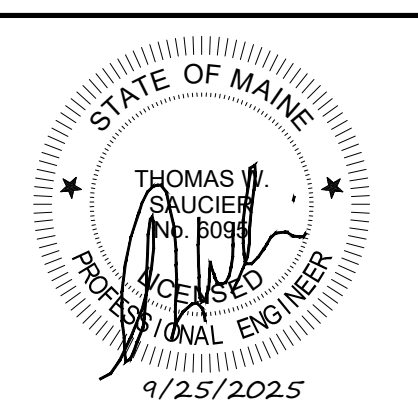
8 TYPICAL PIPE TRENCH SECTION  
C-401 NOT TO SCALE



9 VEGETATED SWALE DETAIL  
C-401 NOT TO SCALE

THIS PLAN SHALL NOT BE MODIFIED WITHOUT WRITTEN PERMISSION FROM SITE DESIGN ASSOCIATES, ANY ALTERATIONS, OTHERWISE, SHALL BE AT THE USER'S SOLE RISK AND WITHOUT LIABILITY TO SITE DESIGN ASSOCIATES.

REV.	DATE	STATUS	BY	CHKD.	APPD.	REV.	DATE	STATUS	BY	CHKD.	APPD.
A	9/25/2025	ISSUED FOR CITY OF BIDDEFORD SITE PLAN REVIEW - NOT FOR CONSTRUCTION		TWS	TWS						

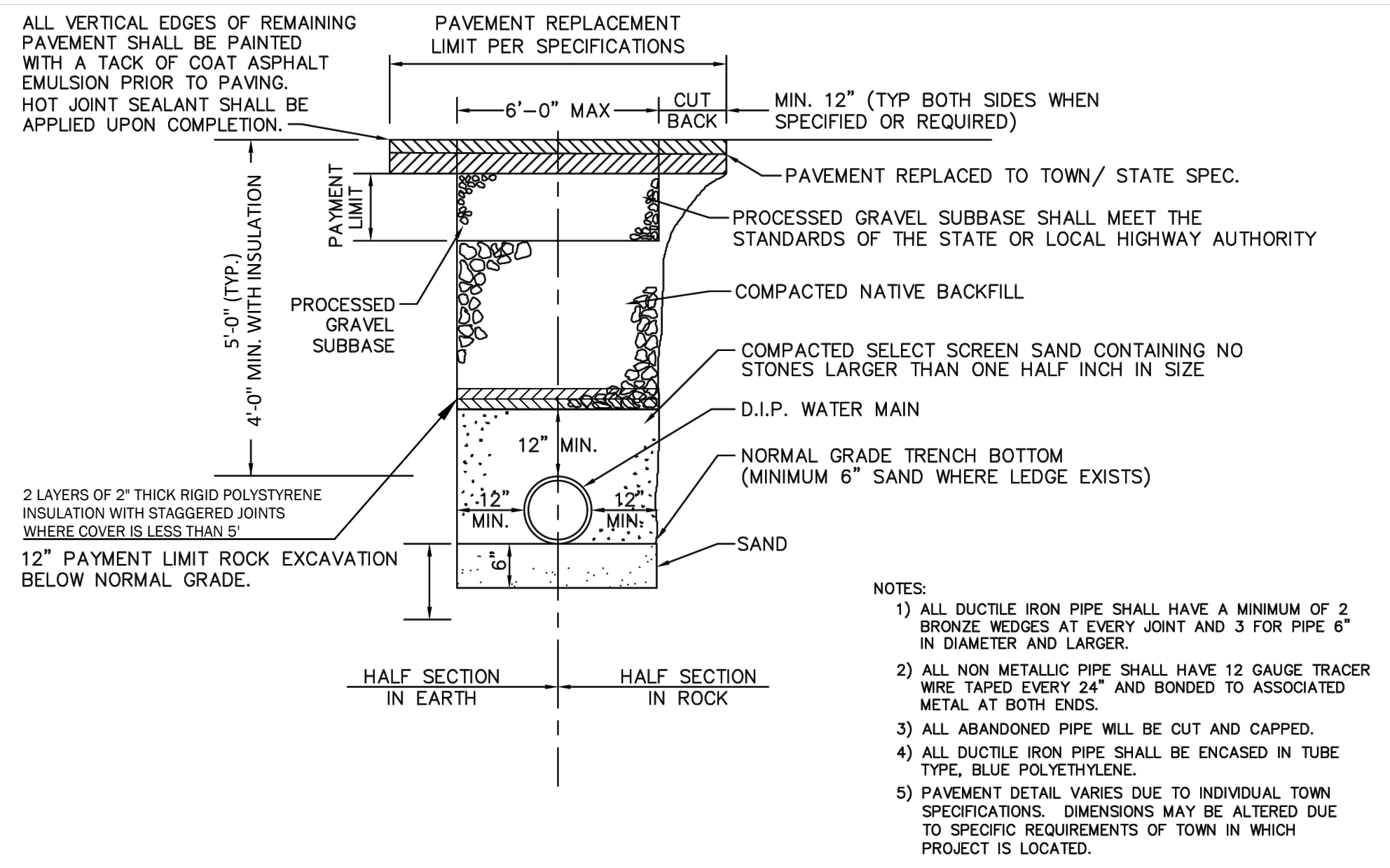


**Site Design Associates**  
Consulting Engineering & Land Planning  
23 Whitney Way Topsham, Maine 04086 Tel: (207) 449-4275  
CLIENT: UNIVERSITY OF NEW ENGLAND  
11 HILLS BEACH ROAD, BIDDEFORD, MAINE 04005

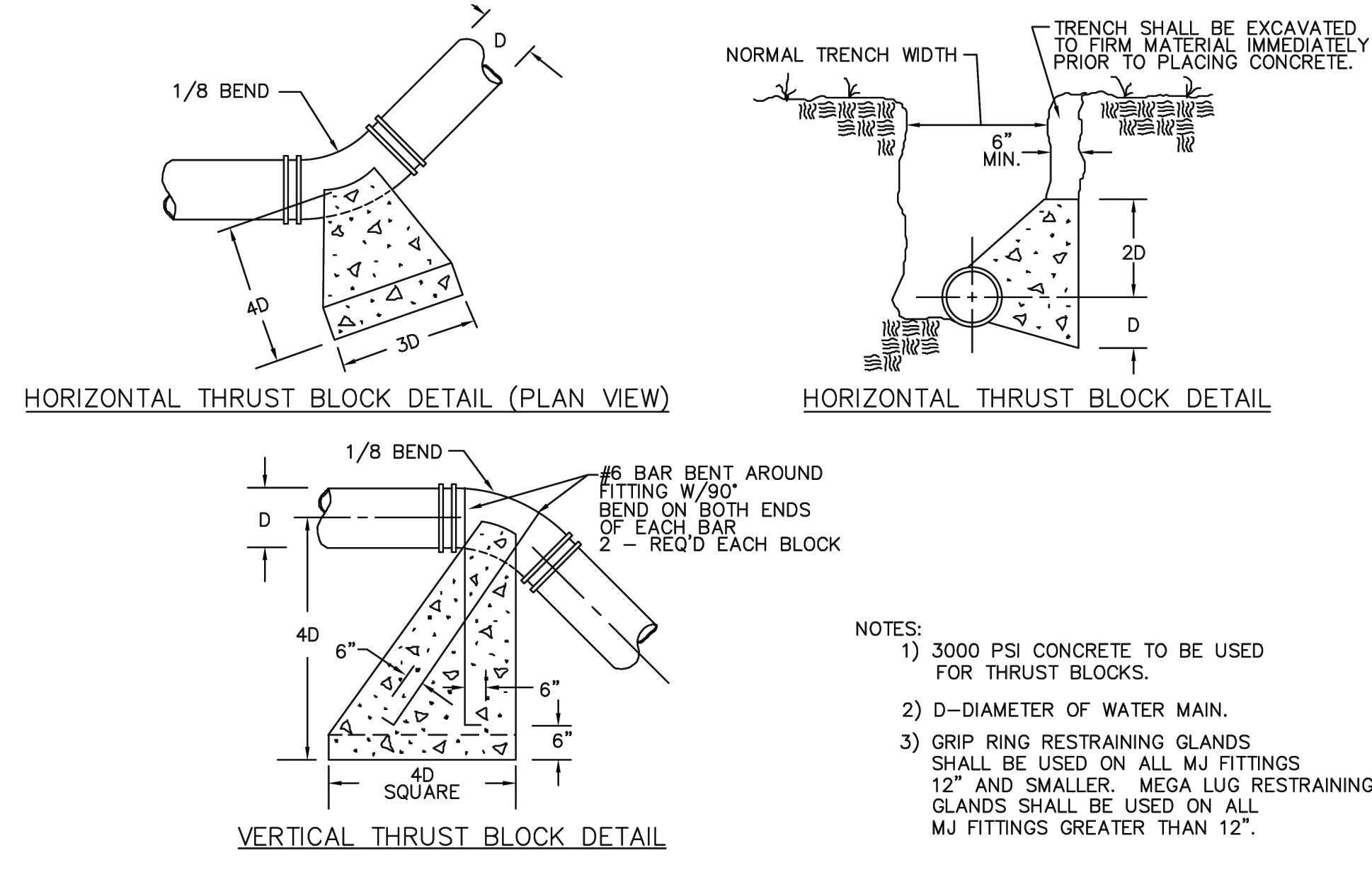
DESIGN: DEPT.	PROJECT: LEONARD HALL RENOVATION
DRAWN: DEPT.	UNE, 11 HILLS BEACH ROAD, BIDDEFORD, ME 04005
CHKD: TWS	CIVIL DETAILS
DATE: SEP. 2025	PROJ. NO. 24-216-05
SCALE: AS NOTED	REV. A
	C-401

TAX MAP I.D. 52-4

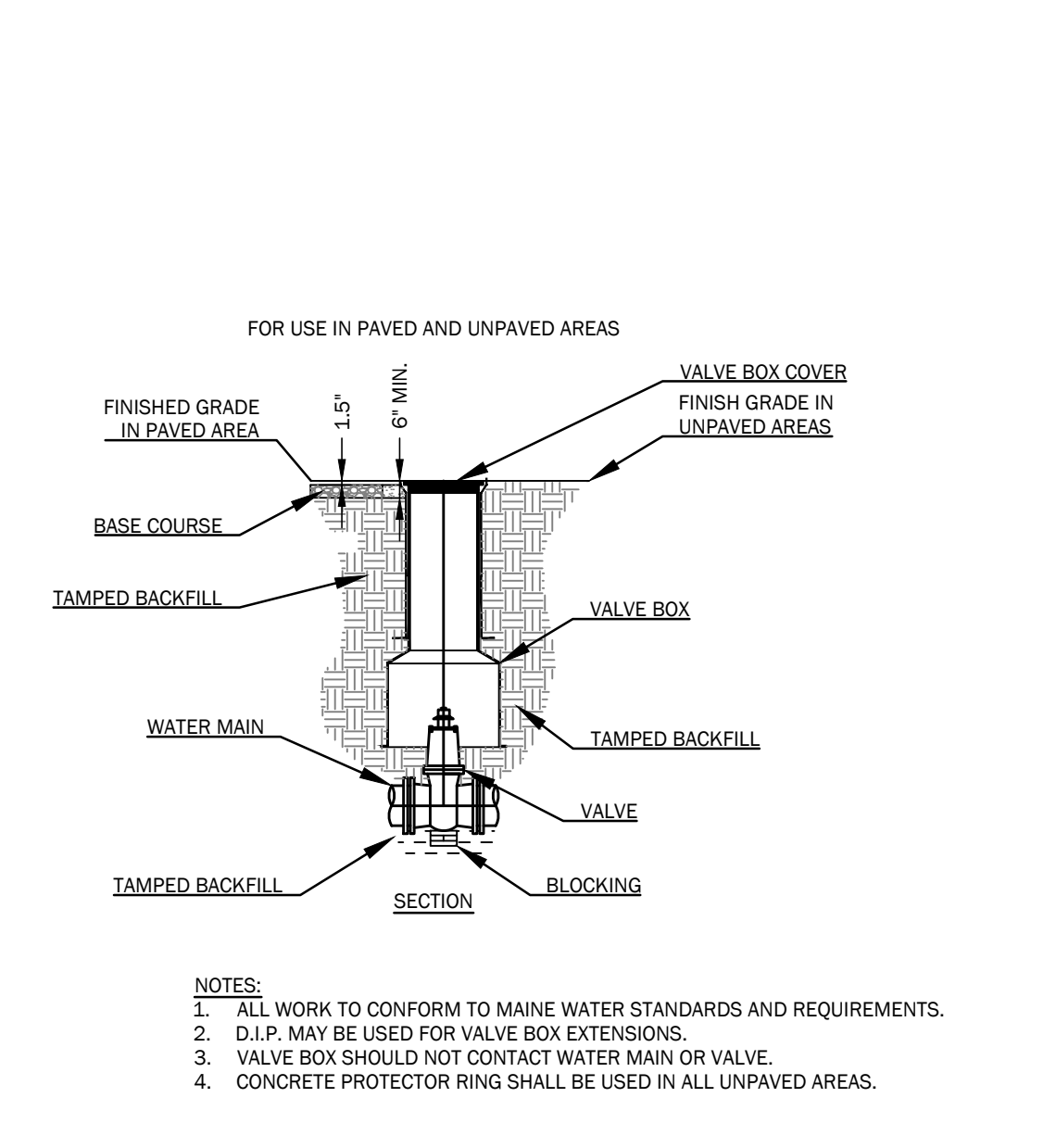
Drawing Name: C:\CDD\Projects\25208 - UNE Leonard Hall\3. CAD\25208 - Biddeford\Site Plan\1.dwg / Date: 9/25/2025 3:53 PM



1 WATER SERVICE PIPE TRENCH SECTION  
C-402 NOT TO SCALE



2 THRUST BLOCK DETAILS  
C-402 NOT TO SCALE

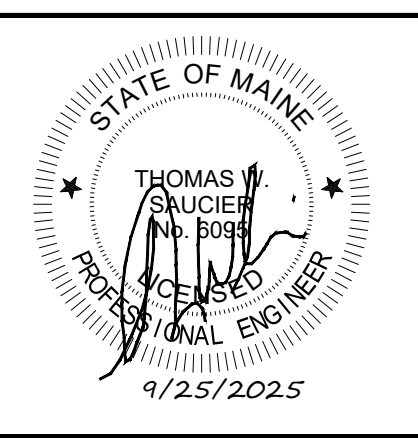


3 VALVE AND VALVE BOX INSTALLATION DETAIL  
C-402 NOT TO SCALE

Drawing Name: C:\CSC Projects\202508 - UNE Leonard Hall\3. CAD\2508 - Detail 1 Plot Date / Time: Sep 24, 25 / 3:53 PM

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REV.	DATE	STATUS	BY	CHKD.	APPD.	REV.	DATE	STATUS	BY	CHKD.	APPD.
A	9/25/2025	ISSUED FOR CITY OF BIDDEFORD SITE PLAN REVIEW - NOT FOR CONSTRUCTION		TWS	TWS						



**Site Design Associates**  
Consulting Engineering & Land Planning

23 Whitney Way Topsham, Maine 04086 Tel: (207) 449-4275

CLIENT: **UNIVERSITY OF NEW ENGLAND**  
11 HILLS BEACH ROAD, BIDDEFORD, MAINE 04005

DESIGN: DEPT.	PROJECT: <b>LEONARD HALL RENOVATION</b>
DRAWN: DEPT.	UNE, 11 HILLS BEACH ROAD, BIDDEFORD, ME 04005
CHKD: TWS	<b>CIVIL DETAILS</b>
DATE: SEP. 2025	PROJ. NO. <b>24-216-05</b>
SCALE: AS NOTED	REV. <b>A</b>
	<b>C-402</b>

TAX MAP I.D. 52-4







**CITY OF BIDDEFORD**

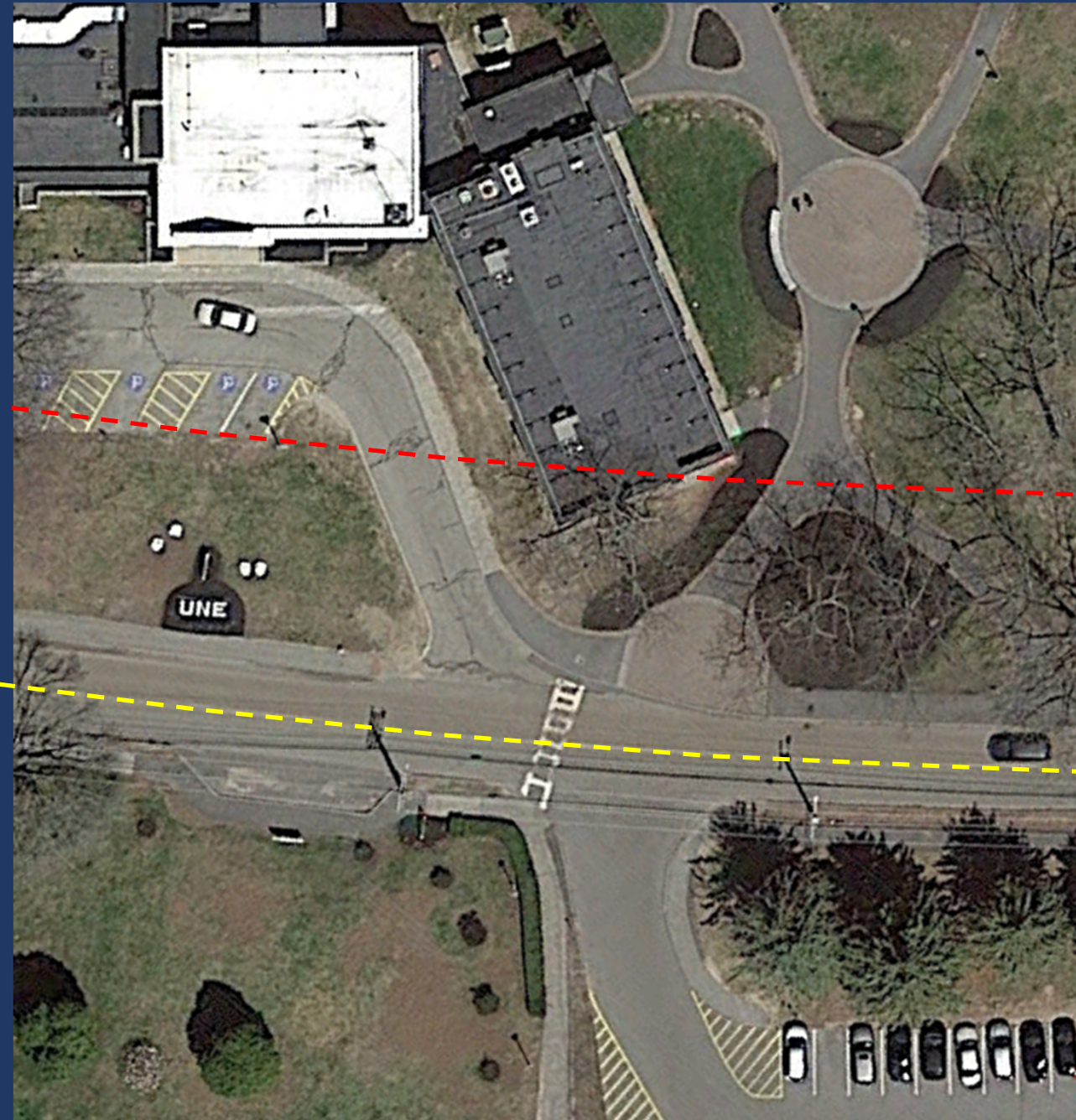
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**June 18, 2025**

**LEONARD HALL (LH)  
FOOTPRINT REVIEW**

**Campus Planning  
University of New England**

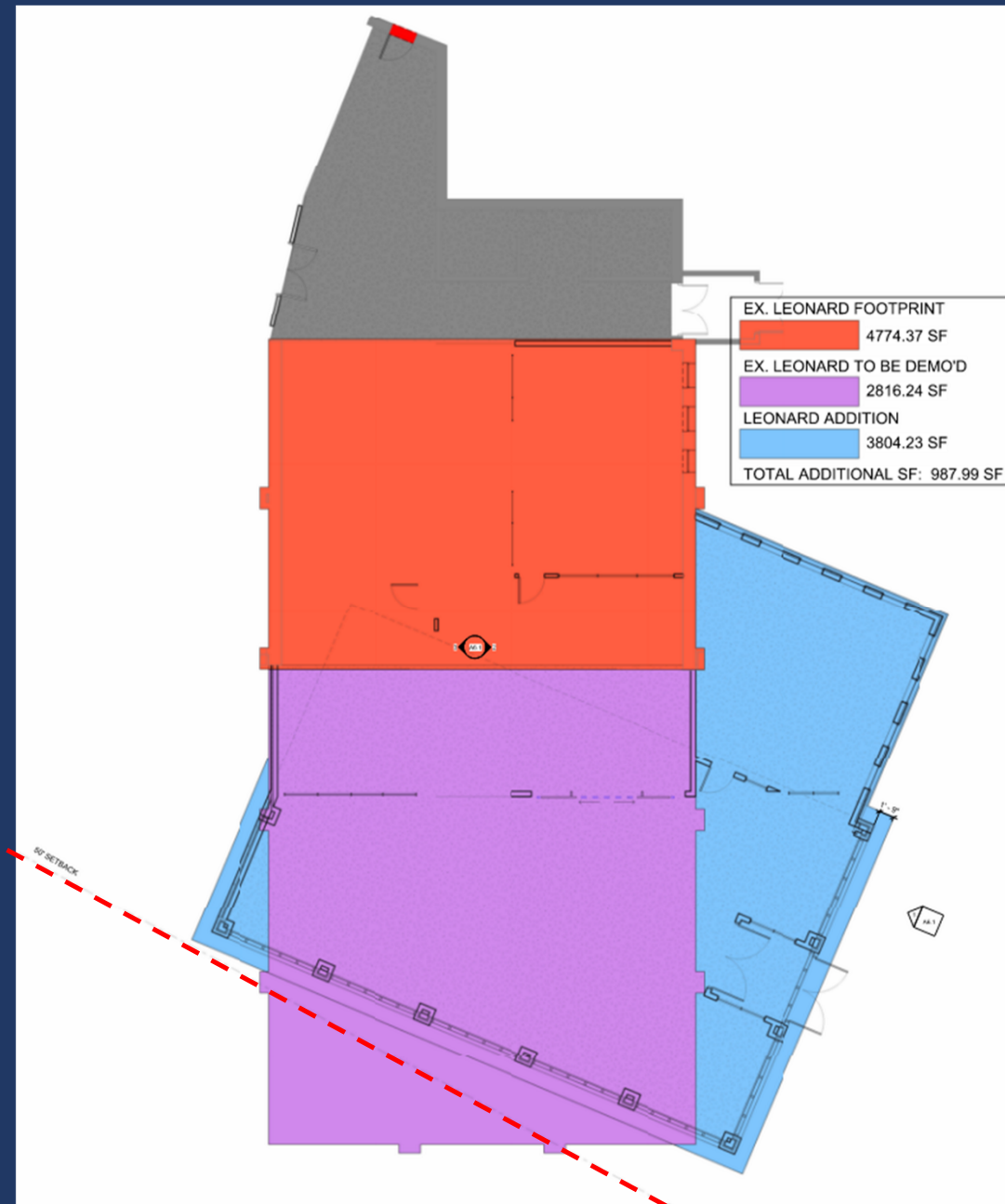
# LH EXISTING CONDITION



The **RED** dashed line represents the approximate IOZ 50' setback

The **YELLOW** dashed line represents the approximate centerline of Hills Beach Rd

# LH DIAGRAM



The **RED** dashed line represents the approximate IOZ 50' setback

## STEPS TO CONFORMITY

1. Demolish 2,817 sf of existing footprint (**purple**)
2. Replace with addition of 3,805 sf (**blue**)
3. Delta of new footprint is 988 sf (less than the 1,000 sf as stipulated by the site plan threshold)



# LH PROPOSED ADDITION

The **YELLOW** dashed line represents the approximate centerline of Hills Beach Rd



The **RED** dashed line represents the approximate IOZ 50' setback

# LH PROPOSED ADDITION



Perspective heading southeast on Hills Beach Road

# LH PROPOSED ADDITION



Perspective heading northwest on Hills Beach Road

**CITY OF BIDDEFORD - SITE PLAN & SUBDIVISION APPLICATION DRAWING CHECKLIST**

LAST REVISED: 11/26/2024

**CHECKLIST DIRECTIONS:**

1. The following checklist must be completely filled out by the applicant and included on all preliminary and final Site Plan & Subdivision submittals. No checklist is required for sketch submittals.
2. Applicant to confirm all of the items listed are included within the submittal. Any missing items must have adequate reasoning to justify their absence.
3. City to review applicant's submittal and checklist responses. Projects missing substantial submittal information with non-acceptable reasoning will be rejected and required to resubmit.
4. Items in **BLACK** are required for "Preliminary" approval & "Final" approval.
5. Items in **BLUE** are only required for "Final" approval.

SUBMITTAL INFORMATION - TO BE FILLED OUT BY APPLICANT	
Project Name:	UNE LEONARD HALL RENOVATION
Planning Board # (if available):	
Applicant Name/Info:	UNIVERSITY OF NEW ENGLAND
Submittal #/Type (Prelim/Final):	MINOR SITE PLAN (FINAL)
Submittal Date:	25-Sep-25

ITEM NUMBER	SUBMITTAL REQUIREMENT DESCRIPTION	APPLICANT RESPONSE		CITY REVIEW RESPONSE		
		INFORMATION PROVIDED (YES/NO)	LIST DRAWING SHEET NUMBER WHERE INFORMATION IS PROVIDED	REASON NOT PROVIDED/COMMENT	ACCEPTABLE (YES/NO-REVISE & RESUBMIT)	COMMENT
<b>1</b>	<b>GENERAL PLAN REQUIREMENTS</b>					
A	Drawing specific legends (linetypes, hatches, etc.)	YES	ALL SHEETS			
B	Individual drawing layer control should be utilized: freeze/thawing, changing lineweights, and screening (i.e. screen existing layers on a proposed plan, freeze topography and underground utilities on a proposed site plan)	YES	ALL SHEETS			
C	North arrows, standard engineering scale viewports, scale bars, dated revision blocks	YES	ALL SHEETS			
D	All drawings and surveys must be in the following coordinate systems: NAD83 Maine State Plane West (Horizontal) and NAVD88 (Vertical)	YES	ALL SHEETS			
E	Drawings need to be designed, signed & sealed by a Maine licensed professional engineer (PE); all boundary survey data needs to be performed by a licensed professional land surveyor (PLS)	YES	ALL SHEETS			
<b>2</b>	<b>COVER SHEET</b>					
A	Project Name & Property Address	YES	COVER SHEET			
B	Project Team Contact Information (Owner, Engineer, Contractor, etc.)	YES	COVER SHEET			
C	Site Location Map	YES	COVER SHEET			
D	Sheet Set List of Drawings	YES	COVER SHEET			
E	Tax Map and Lot ID	YES	COVER SHEET			
F	Zoning & Shoreland Zone Information	YES	COVER SHEET			
G	Existing Use Description	YES	COVER SHEET			
H	Proposed Use Description	YES	COVER SHEET			
I	Required Waiver/Variations (Yes/No); if yes, plan must clearly list waivers/variances requesting	Yes	COVER SHEET			
J	Name of Drainage Watershed	YES	COVER SHEET			
K	Within the M54 Urbanized Area (Yes/No)	YES	COVER SHEET			
L	Natural resources (streams, wetlands, etc.) located on-site or adjacent to the property (Yes/No)	NO	COVER SHEET	NO NATURAL RESOURCES WITHIN THE VICINITY OF THE PROJECT DISTURBED AREA.		
M	Within the 100-year Flood Zone (Yes/No)	NO	COVER SHEET			
N	Public Road Proposed (Yes/No)	NO	COVER SHEET			
O	Private Road Proposed (Yes/No)	NO	COVER SHEET			
P	Public Sewer Connection (Yes/No)	NO	COVER SHEET			
Q	Public Storm Drain Connection (Yes/No)	YES	COVER SHEET			
R	Limits of Disturbance in square feet and acres	YES	COVER SHEET			
S	Pervious Land Cover square footage, existing and proposed	YES	COVER SHEET			
T	Impervious Land Cover square footage (Pavement/Gravel), existing and proposed	YES	COVER SHEET			
U	Building Roof square footage, existing and proposed	YES	COVER SHEET			
V	Assigned Planning Board Number	N/A		STAFF REVIEW		
W	Estimated cut/fill earthwork volumes. If disturbing within the Flood Zone, a separate set of earthwork volumes required (overall site vs. within flood zone)	N/A		MINIMAL GRADE CHANGES PROPOSED.		
<b>3</b>	<b>EXISTING CONDITIONS PLAN</b>					
A	Horizontal & Vertical Datums annotated (NAD83 & NAVD88)	YES	C-100			
B	Property & Right-of-Way Lines	YES	C-100			
C	Boundary line information (bearings, distances, etc.)	NO		Part of a 49.9 acre parcel. Boundary survey submitted with previous application.		
D	Property pin and monumentation locations	NO		NO PROPERTY LINE CHANGE PROPOSED.		
E	Existing easements with proper ownership identified	NO		NONE WITHIN PROJECT AREA.		
F	Road Names & Individual Lot Labels (Map, Lot, Owner, Acreage)	YES	C-100			
G	Location of any Natural Resources and their respective buffers (wetlands, streams, etc.)	NO		NONE WITHIN VICINITY OF PROJECT AREA.		
H	100-year Flood Zone Limits & Elevation	NO		PROJECT NOT LOCATED WITHIN 100-YEAR FLOOD ZONE.		
I	Existing contours with adequate contour labelling; minimum 1' contour interval	YES	C-100			
J	Existing building FFEs annotated	YES	C-100			
K	Spot elevations for all tie-in locations (curb cuts, property line)	YES	C-100			
L	Existing buildings & structures	YES	C-100			
M	Existing pavement areas & number of parking spaces	YES	C-100			
N	Existing ADA ramp geometry, detectable warning plates, and ADA parking spaces	YES	C-100			
O	Existing site features (sidewalks, retaining walls, curbing, lightpoles, guide rails, dumpsters, fencing)	YES	C-100			
P	Existing signage and striping	YES	C-100			
Q	Existing underground utility locations (storm, sewer, force main, water, gas, elec, tele)	YES	C-100			
R	Existing above-ground utility locations (manholes, catch basins, utility poles, hydrants, transformers, ntrap)	YES	C-100			
S	Rim, invert in, invert out, pipe size, cardinal direction (N, E, S, W) information for any existing utility infrastructure being tied into (upstream/downstream/outfalls)	YES	C-100			
T	Existing tree lines, street trees, free-standing trees (12" or larger diameter at breast height), and vegetation	YES	C-100			
U	Location of any borings, drinking wells, and monitoring wells	NO		NONE WITHIN VICINITY OF PROJECT AREA.		
<b>4</b>	<b>SITE DEMOLITION &amp; EROSION CONTROL (E&amp;SC) PLAN</b>					
A	Limits-of-disturbance outlined and acreage annotated	YES	C-100			
B	Location of any Natural Resources and their respective buffers (wetlands, streams, etc.)	NO		NONE WITHIN VICINITY OF PROJECT AREA.		
C	100-year Flood Zone Limits	NO				
D	Callout existing site features to be demolished/removed/replaced	YES	C-100			
E	Callout existing utilities to be demolished/removed/abandoned-in-place	YES	C-100			
F	Hatch existing buildings and pavement to be removed	YES	C-100			
G	Construction Entrance location(s)	YES	C-300			
H	Perimeter E&SC control location(s) (i.e. silt fence, erosion berm mix)	YES	C-300			
I	Stockpile and staging area(s) identified (with proper perimeter control)	YES	C-300			
J	Inlet protection location(s)	YES	C-300			
K	Note requiring contractor to implement dust control measures throughout construction	YES	C-300			

L	Note requiring contractor to pave utility trenches within right-of-way within 3 days of excavation or prior to any rain event	YES	C-200		
M	If groundwater expected, show dewatering/silt bag location(s); show temporary pumping routing	NO		NO GROUNDWATER EXPECTED PER GEOTECHNICAL INVESTIGATION.	
N	If large development is proposed with an extensive underground stormwater conveyance network, identify how SWM infrastructure and BMPs will be protected during construction and if sediment traps/basins are needed	NO		MINIMAL STORMWATER INFRASTRUCTURE PROPOSED.	
<b>5</b>	<b>SITE PLAN/SUBDIVISION PLAN</b>				
A	Partial Site Plans needed for any viewpoint scale greater than 1"=20'	NO		ENTIRE PLAN SET AT 10-SCALE.	
B	Existing property and right-of-way lines	YES	C-200		
C	Proposed subdivision lot lines and labels	NO		NO APPLICABLE.	
D	Required Zoning Setbacks shown with dimensions and annotation	YES	C-200		
E	Bulk requirement summary table (zoning/parking calculations)	NO		NOT APPLICABLE	
F	Location of any Natural Resources and their respective buffers (wetlands, streams, etc.)	NO		NONE WITHIN VICINITY OF PROJECT AREA.	
G	100-year Flood Zone Limits	NO		PROJECT NOT LOCATED WITHIN 100-YEAR FLOOD ZONE.	
H	Proposed building outlines, door entrances and loading docks	YES	C-200		
I	Proposed building labels	YES	C-200		
J	Proposed road & sidewalk extents; provide clear annotation if roads will be public or private	YES	C-200	SIDEWALK ONLY. NO PROPOSED ROADS.	
K	Proposed parking and accessible parking locations; annotate parking space counts	NO		NONE PROPOSED.	
L	Proposed signage, parking striping, and traffic striping	NO		NONE PROPOSED.	
M	Detailed ADA ramp geometry, detectable warning surfaces, and ADA parking striping/signage; existing & proposed	YES	C-200/DETAIL 3/C401		
N	Proposed site features (i.e. curbing, walls, fencing, guiderail, fire hydrant, transformers, light pole locations)	YES	C-200		
Q	Proposed landscaping; detailed landscaping design should be shown on separate plans	YES	L-100		
P	Designated snow storage areas	YES	C-200		
Q	Proposed dumpster locations and trash removal access	NO		NONE PROPOSED/NECESSARY.	
R	Linear dimensions of all drive aisles, sidewalk widths, parking spaces, loading docks	YES	C-200		
S	Radial dimensions for all curbs, landscaped islands, sidewalks	YES	C-200		
T	Public/private road centerline stationing shown, labelled every 0+50' with curve data	NO		NONE PROPOSED.	
U	If Private Road is proposed, final recorded plans must clearly note that proposed private roads will not be submitted in the future for public acceptance	NO		NONE PROPOSED.	
V	If Private Road is proposed, final recorded plans must clearly note that the City is not responsible for any maintenance, repair, plowing, or trash removal of proposed private roads	NO		NONE PROPOSED.	
W	Planning Board signature block for final recording	NO		DOES NOT REQUIRE PB REVIEW.	
<b>6</b>	<b>GRADING PLAN</b>				
A	Partial Grading Plans needed for any viewpoint greater than 1"=20'	NO		ENTIRE PLAN SET AT 10-SCALE	
B	Limits-of-disturbance outlined and acreage annotated	YES	C-300		
C	Proposed Building Labels with Individual Finished Floor Elevations (FFEs)	YES	C-300		
D	Existing contours with adequate contour labelling, screened; minimum 1' contour interval	YES	C-300		
E	Proposed contours with adequate contour labelling; minimum 1' contour interval	YES	C-300		
F	Detailed grading for all ditches, swales, outfalls, and riprap	YES	C-300		
G	All proposed contours tie-into existing contours at limits-of-disturbance outline	YES	C-300		
H	Existing spot elevations for all asphalt, curb, and SWM BMP tie-in locations	YES	C-300		
I	Location of any Natural Resources and their respective buffers (wetlands, streams, etc.)	NO		NONE WITHIN VICINITY OF PROJECT AREA.	
J	100-year Flood Zone Limits	NO		PROJECT NOT LOCATED WITHIN 100-YEAR FLOOD ZONE.	
K	Proposed spot elevations for all important roadway geometric points (including but not limited to: parking/drive aisles, building corners/entrances, retaining walls, loading docks, EOP/curblines)	NO		NOT APPLICABLE	
L	Proposed spot elevations for all ADA ramp/landing/parking stall geometry points	NO		NOT APPLICABLE	
M	Proposed % slope arrows for all ADA parking spaces and sidewalks	NO		NOT APPLICABLE	
N	Proposed longitudinal % slope arrows for drainage ditch centerlines	NO		NOT APPLICABLE	
O	Proposed % slope arrows for roads, parking areas, and landscape tie-in areas	YES	C-300		
P	Estimated cut/fill earthwork volumes. If disturbing within the Flood Zone, a separate set of earthwork volumes required (overall site vs. within flood zone)	N/A		MINIMAL GRADE CHANGES PROPOSED.	
<b>7</b>	<b>ROAD PROFILES (if public/private road proposed)</b>	NO		NONE PROPOSED.	
A	Existing surface; dashed and screened				
B	Proposed surface; continuous and bold				
C	Road design speed must be clearly identified				
D	Corresponding centerline stationing and curve data annotation				
E	All vertical curves must identify the proposed 'K' values and confirm they meet the minimum design speed thresholds listed in AASHTO's Green Book Tables 3-35 & 3-37				
F	Clear annotation if proposed road will be public or private				
G	If Private Road is proposed, plans must clearly note that proposed private roads will not be submitted in the future for public acceptance				
H	If Private Road is proposed, plans must clearly note that the City is not responsible for any maintenance, repair, plowing, or trash removal of proposed private roads				
<b>8</b>	<b>UTILITY PLAN</b>				
A	Existing underground utility locations; screened (storm, sewer, force main, water, gas, electric, telecom)	YES	C-200		
B	Existing above-ground utility locations; screened (manholes, catch basins, utility poles, hydrants, riprap)	YES	C-200/C-300		
C	Rim, invert in, invert out, pipe size, cardinal direction (N, E, S, W) information for any existing utility infrastructure being tied into (upstream/downstream/outfalls)	YES	C-300		
D	Proposed underground utility locations; bold (storm, sewer, force main, water, gas, electric, telecom, lighting)	YES	C-200/C-300		
E	Proposed above-ground utility locations; bold (manholes, catch basins, utility poles, hydrants, transformers, riprap)	YES	C-200/C-300		
F	Proposed storm culverts, outfalls, and riprap locations and sizes	NO		NONE PROPOSED.	
G	Storm/sewer structure labels must include: rim, inverts in, inverts out, pipe sizes, cardinal directions (N, E, S, W)	YES	C-300		
H	Storm/sewer pipe labels must include: linear footage, pipe size, material, slope	YES	C-300		
I	Flow directional arrows for storm & sewer pipes	YES	C-300		
J	Proposed & existing site features shown that could conflict with proposed utilities (trees, signs, lightpoles, bollards, foundations, guiderails)	YES	C-200/C-300		
K	All storm drains must be sized to convey the 25-year storm	YES	C-300		
L	Sewer force main sizes and invert elevations	NO		NONE PROPOSED	

M	Sewer pump station locations, model, rim, inverts, pipe sizes, cardinal directions (N,E,S,W); additional details and hydraulic calculations required for any Public pump station proposed.	NO		NONE PROPOSED	
N	Locations, sizes, and elevations of any: grease traps, oil-water separators, septic systems, drinking wells	NO		NONE PROPOSED	
O	Proposed water sizes labelled	YES	C-200		
9	<b>UTILITY PROFILES</b>	NO		NONE PROPOSED.	
A	Utility profiles required for all gravity storm drain and sewer pipes proposed: within the right-of-way, within private or public roads, for non-driveway culverts, and for any public infrastructure tie ins				
B	Existing surface: dashed and screened				
C	Proposed surface: continuous and bold				
D	Storm/sewer structure labels must include: rim, inverts in, inverts out, pipe sizes, cardinal directions (N, E, S, W)				
E	Storm/sewer pipe labels must include: linear footage, pipe size, material, slope				
F	Existing and proposed gravity pipe crossings shown; sizes labelled and depths/clearance annotated				
G	Existing and proposed electric/water/telecom/gas crossings shown at approximate depths; sizes labelled and depths/clearance annotated				
10	<b>DETAILS</b>				
A	Road section detail, including pavement/gravel depths & cross slopes	YES	C-401		
B	Sidewalk, paver, crosswalk, and any other pavement section details	YES	C-401		
C	Pavement sawcut & shiplap details	YES	C-401		
D	Utility trench/backfill detail	YES	C-401		
E	All site feature details: curbing, retaining walls, fencing, guiderails, dumpsters, etc.	NO		NONE PROPOSED.	
F	Signage, striping, and ADA details	YES	C-400		
G	E&S notes and details	YES	C-401		
H	Utility structure details (manholes, cleanouts, fittings, handholes, transformer pads, hydrants)	YES	C-401		
I	Storm outfall & riprap details	NO		NONE PROPOSED	
J	Drainage ditch cross section identifying minimum depth, minimum bed width, and maximum side slopes	YES	C-401		
K	Pump station, grease trap, oil-water separator, septic, drinking well details	NOE		NONE PROPOSED	
L	Conduit section details	YES	ELECTRICAL PLANS		
11	<b>LANDSCAPING, LIGHTING &amp; PHOTOMETRIC PLANS</b>				
A	As required by ordinance; at a minimum: locations, counts, lighting models, and landscaping species must be identified	YES	L-100		
B	Landscaping & lighting details	NO		NONE PROPOSED	
12	<b>DOCUMENTS/REPORTS/CALCULATIONS</b>				
A	On initial preliminary submittal applications, applicant must submit a development review and inspection fee. Applicant to coordinate fee amount with City Planner prior to submittal. This fee will be drawn against to cover the following type of services throughout the project life cycle (and may require replenishing): i. 3rd Party City Peer-Review ii. Site Inspections during the permitting process iii. Erosion & Sediment Control Inspections during construction iv. Right-of-Way Inspections during construction v. Site Punchlist/As-Built Inspections post-construction				
B	Stormwater Management Report, including: 1. Predevelopment & Post-development Drainage Area Maps, including: a. Subdrainage areas delineated and labeled b. Points of Interest/Analysis shown and labeled c. Hatching for different land cover areas (impervious, pervious, gravel) within each applicable USDA soil boundary d. Time of concentration (Tc) paths & durations e. Four City-standardized stormwater summary tables 2. If any SWM water quality BMP or detention facility is proposed, hydrologic model exports/hydrographs must be submitted for the for the 2, 10, 25, & 100-year storm frequencies 3. Sizing calculations for any SWM water quality BMP or detention facility 4. A stormwater maintenance manual for any proposed SWM water quality BMP or detention facility, including: a. Annual maintenance requirements b. Annual inspection requirements by a licensed PE; noting that all inspection reports/logs need to be submitted to the Engineering Department by March 1st each following year, identifying what on-going maintenance has occurred and what remedial repairs are needed c. Signed Property Owner Agreement: including the current property owner's contact information and signature; it must be noted that all stormwater BMP maintenance requirements are linked to the property for perpetuity and transfer to any new ownership	NO		Waiver requested. See cover letter.	
C	An approved 'Sewer Ability-to-Serve Letter' from the Engineering Department: i. Applicant to submit proposed sewer flow calculations per Maine's Subsurface Wastewater Disposal Rules, Chapter 241, Section 4 (Tables 4A & 4C)	NO		Existing sewer to private treatment plant.	
D	A Performance Guarantee Cost Estimate utilizing Planning's template	NO		Request a condition of approval; will provide when site contractor is on board	
E	For any Site Location of Development (SLODA) project, the applicant's submittal must mimic a formal submittal to DEP. Submit must abide to DEP's SLODA application and include DEP's SLODA Submittal Checklist (Form D)				
F	25-year hydraulic calculations for all storm conveyance infrastructure (pipes, culverts, drainage ditches); starting tailwater conditions/documentation must be clearly identified				
K	Public sewer pump station sizing calculations and maintenance plan				
M	Grease trap sizing calculations				
N	Homeowner Association (HOA) agreement for any private road serving two (2) lots or more				
O	Summary list & copy of any required DOT/DEP/USACE permits & approvals				