

City of Biddeford
Historic Preservation Commission
November 10, 2021 4:00 PM Zoom:
Nov 10, 2021 04:00 PM Eastern Time (US and Canada)
Topic: Historic Preservation Commission

Please click the link below to join the webinar:
<https://biddeford.zoom.us/j/97169925907?pwd=Um5hY0VYbFNyMjVnd0lLK244aXZrdz09>

Passcode: 453124

Or One tap mobile :

US: +16465588656,,97169925907# or +13017158592,,97169925907#

Or Telephone:

Dial(for higher quality, dial a number based on your current location):

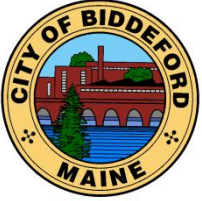
**US: +1 646 558 8656 or +1 301 715 8592 or +1 312 626 6799 or +1 669 900 9128 or +1
253 215 8782 or +1 346 248 7799**

Webinar ID: 971 6992 5907

International numbers available: <https://biddeford.zoom.us/j/97169925907>

- 1. Roll Call/Declaration of Quorum & Voting Members**
- 2. Adjustments to the Agenda**
- 3. Consent Agenda**
 - 3.1. Approval of Meeting Minutes from October 13, 2021
[HPC Minutes 101321-Draft.pdf](#)
- 4. Unfinished Business**
- 5. New Business**
 - 5.1. 2021.45 HPC Review a project by James Nunan Legal Representative of the Estate of Kimberly Eaton to make exterior modifications at 9 St. Mary's Street (Tax Map 38, Lot 33) in the MSRD-2 Zone.

[2021.45 HPC 9 St Mary's Street Nunan SR.pdf](#)
[SIGNED HPC APP--9 ST MARYS ST--cc number redacted.pdf](#)
[Vision Government Solutions.pdf](#)
[EXT LEAD SCOPE w photos and materials list--9 St. Mary's.pdf](#)
- 6. Other Business**
- 7. Adjourn**



CITY OF BIDDEFORD

Planning and Development Department

Brad Favreau
Economic Development Coordinator
205 Main Street
P.O. Box 58six
Biddeford, ME 04005
(207)-282-7119 or (207)-28four-
9115

HPC MEETING
October 13, 2021

4:00

City Hall, Council Chambers & Zoom

(DRAFT)

In attendance: Jeff Cabral (Chair), Leah Schaffer, Erin Ware, Julie Larry, Priscilla McGuire & Jess Muise

Absent: Catherine Glynn

Staff Members: Brad Favreau & Nan Whitten

1. Roll Call/Declaration of Quorum/Voting Members (Chair opened meeting at 4:00 PM)

2. Adjustment to the Agenda

3. Consent Agenda

Approval of Meeting Minutes for September 9, 2021

MOTIONS: 4:02 PM

McGuire: Motion-to approve the meeting minutes from September 9, 2021

Schaffer: Second

Motion passed unanimously 3-0 (Schaffer, Ware, McGuire in favor)

4. Unfinished Business

5. New Business

5.1. 2021.41 HPC Commission Review for 4A Property LLC/Joseph Fourre to make exterior modifications at 180 Main Street (Tax Map 40, Lot 71-5-1) in the MSRD-1 Zone

- Philip Chaney of Barrett Made represented the client and introduced the project.
- The Commission discussed the project with the applicant.

MOTIONS: 4:12 PM

Motion-McGuire to approve the Certificate of Appropriateness for 4A Property LLC to perform select exterior alterations at 180 Main Street in the MSRD-1

zone based on materials presented and conditioned on the following:

All permits must be obtained from Code Enforcement at completion of Work

Second-Ware

Leah Schaffer was made temporary chair therefore did not vote on this item.

Motion passed unanimously 3-0 (Ware, McGuire & Larry in favor)

5.2. 2021.42 HPC Commission Review for Anthony Thomas to make exterior modifications to 75 Birch Street (Tax Map 39, Lot 13), in the MSRD-2 Zone.

- Gail Wilkerson Lead Program Manager for the City of Biddeford presented on behalf of the applicant.
- Mike Iwans of Custom Concepts also represented the applicant via zoom.
- Mr. Favreau reminded the Commission that this is a contributing structure.
- The windows were discussed i.e. the number of windows, attic or not, one over one or 1 pane.
- The Commission asked about the fact that this item was brought to the Commission through the Lead Paint Program. The policy is the Lead Paint Program does not factor into the Commission's decision.
- The fact that this is a contributing building means it is held to a higher standard.
- The Commission discussed the fact that vinyl siding is not acceptable for a historical building. The clapboards are to be scraped and repainted.
- The Commission discussed the specifications of the new windows with the applicant.
- The railings on the deck are to be replaced and brought up to code.
- The applicant will replace the overhead garage door in kind and the barn door is be walled off.
- The applicant told the Commission about the replacement front door.

MOTIONS: 5:20

Schaffer: Motion- to approve the Certificate of Appropriateness for Anthony Thomas to make exterior alterations for the purposes of lead abatement at 75 Birch Street in the MSRD-2 zone based on materials presented and conditioned on the following:

- That all existing exterior siding be scraped and repainted, replacing any damaged boards.
- Trim, cornices, corner posts etc. be scraped, encapsulated and repainted.
- Previous deck is to be replaced, side stairs removed, add a railing added that is up to code.
- Windows (4) to be replaced as needed (replacement vinyl).
- Any and all detail work is to be replaced in kind.
- The garage door is to be replaced in kind.
- All permits must be obtained from Code Enforcement prior to beginning any work.
- Any changes not covered in this document must be presented and approved by the Historic Preservation Commission.

Ware: Second

Motion passed unanimously 3-0 (Schaffer, Ware, McGuire in favor)

5.3 Limited Emergency-Remote Only Meetings

- Mr. Favreau introduced and explained the emergency order and the choices in the order.
- The Commission discussed the policy and options

MOTIONS: 5:27

Motion: Ware- to hold remote only HPC meetings during the emergency order.

Second: Schaffer

Motion passed unanimously 2-1 (Schaffer, Ware in favor, McGuire opposed)

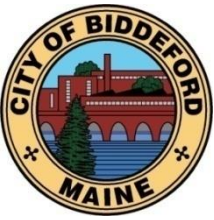
6. Other Business

7. Adjourn Meeting 5:32 PM

Chair: Historic Preservation Commission

Date

These minutes are summary and are not intended to be verbatim. Archived meetings are viewable on the City's website: www.biddefordmaine.org.



CITY OF BIDDEFORD PLANNING DEPARTMENT

2021.45 HPC

Greg Tansley, A.I.C.P.
205 Main Street
PO Box 586
Biddeford, ME 04005
(207) 284-9115

Greg.Tansley@Biddefordmaine.org

HISTORIC PRESERVATION COMMISSION REPORT

TO: Jeff Cabral, Chair & Members of the Biddeford Historic Preservation Commission

FROM: Brad Favreau, Economic Development Coordinator

DATE: November 1, 2021

RE: ITEM #5.1: 2021.45 HPC - Lead Hazard Control at 9 St Mary's St (Tax Map 38, Lot 33) in the MSRD-2 Zone.

MEETING

DATE/TIME: November 10, 2021 @ 4:00 PM

1. INTRODUCTION

The applicant proposes to make alterations as part of the Biddeford Lead Paint Hazard Reduction Program. Through this program, exposure to lead paint in older homes is minimized by using various methods, making them safer for occupants, especially for young children.

2. PROJECT DATA/INFORMATION

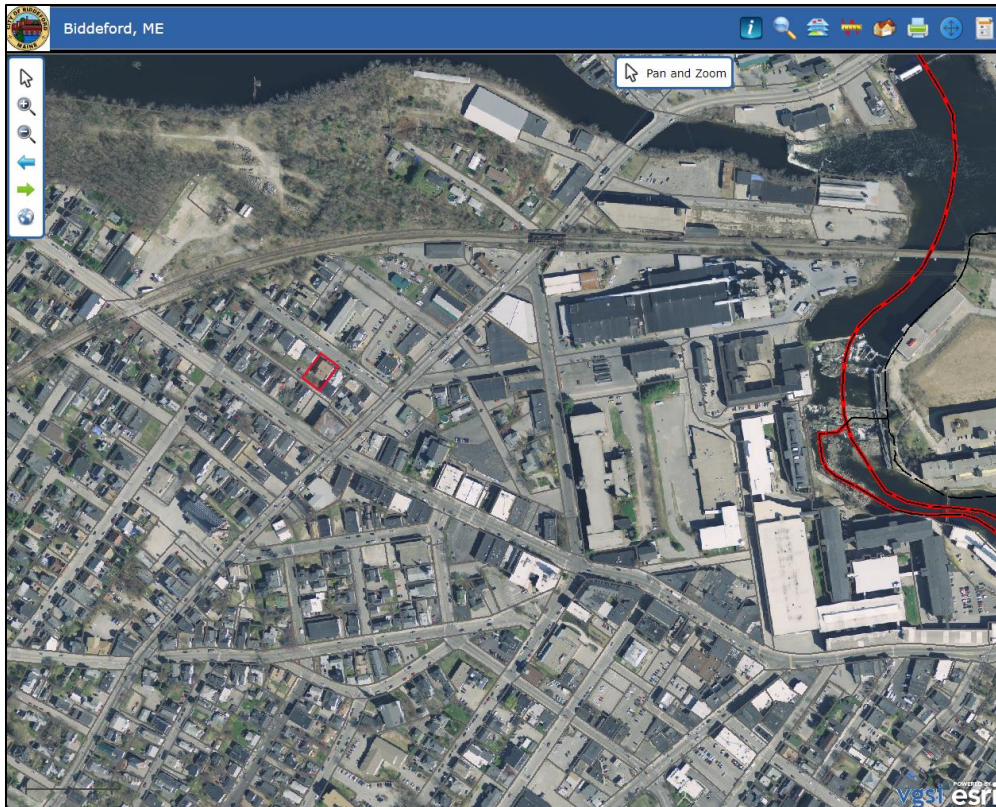
	<i>SUBJECT</i>	<i>DATA/INFORMATION</i>
1.	Applicant:	James Nunan 40 State Street 101 Biddeford ME 04005 207-828-1999 james@jnunan.com
2.	Owner of Property:	Same as above
3.	Contractor/Developer:	Community Concepts, Incorporated Andrew Watson 240 240 Bates Lewiston ME 04240 207-890-0396 awatson@community-concepts.org
6.	Project Agent/Architect:	Same as above
5.	Project Location:	9 St. Mary's Street
6.	Project Tax Map #/Lot #:	Map 38, Lot 33
7.	Existing Zoning:	MSRD-2
8.	Overlay Zoning:	Biddeford Historic District.
9.	Contributing/Non-contributing:	Non-Contributing
10.	Existing Use:	Residential
11.	Proposed Use:	Residential
12.	Proposed Project:	Lead paint hazard Reduction
13.	Approvals Required:	Certificate of Appropriateness
14.	Uses in the Vicinity:	Mixed Use
15.	Other Permits Obtained:	None
16.	Historic Preservation Commission Review History:	November 10, 2021 Meeting: The notice was posted in City Hall and on the city website on Nov. 3, 2021. Mailing notices were also sent out to all abutters within 100' on Nov. 3, 2021 – ___ notices were sent out.

3. EXISTING CONDITIONS:

This building is a **Non-Contributing** structure as it is located outside the boundaries of the Russell Wright Survey area.

The building was constructed in 1900, according to the Assessor's Department. It is now a 7-unit multi-family building.

This building was re-sided in vinyl in 2004, and the building now has vinyl replacement windows. In spite of these changes, some care has been taken to maintain its original appearance. The original wood window trim at the entry and bay windows remains intact.



Source: "9 St Mary's Street". <http://gis.vgsi.com/BiddefordMEMap/index.html?pid=4035>.
Accessed Date: 11/021/2021.



Source: "9 St. Mary's Street, Biddeford, Maine." 43°29'39" N 70°27'30" W. Google Earth Street View.
Imagery Date: 07/2018. Accessed Date: 11/02/2021.

St Mary's Street looking northwest. Subject property is at left:



Source: "3 St Mary's Street, Biddeford, Maine." 43.50° N 70.46° W. Google Earth Street View. Imagery Date: 07/2018. Accessed Date: 11/02/2021.

St Mary's Street looking southeast. Subject property is at center right:



Source: "21 St Mary's Street, Biddeford, Maine." 43.50° N 70.46° W. Google Earth Street View. Imagery Date: 07/2018. Accessed Date: 11/02/2021.

4. PROJECT PROPOSAL

The scope of work for this project includes the abatement of lead paint hazard of exterior surfaces:

- Front of building ('A' Side per applicant packet):
 - Window casings, trim, and sills of bay windows – Encapsulate (see definition next page); rotted wood trim will be replaced to match existing.
 - Cellar windows (below bays) – Replace windows (see cut sheet in packet), Encapsulate casings.
 - Entry door casings, trim and ceiling – Encapsulate.



Above: Front bay windows. Rotted wood will be replaced.



Right: Front Entry. Existing handrails will remain. *Far right:* Existing cellar windows at bays will be replaced.



- Left side of building ('B' side per applicant packet):
 - Cellar window casing – Encapsulate.
 - At partially enclosed rear porch, three levels:
 - Remove and replace stair stringers, risers, and treads with pressure treated lumber construction. Existing handrails and guardrails will be re-used.
 - Cover existing siding and ceiling with new layer of insulation under new layer of vinyl siding (see cut sheet in packet).
 - Cover porch window and door casings and trim with aluminum coil. (See cut sheet in packet.)
- Right side of building ('D' Side per applicant packet):

- At partially enclosed rear porch, three levels:
 - Remove and replace stair stringers, risers, and treads with pressure treated lumber construction. Existing handrails and guardrails will be re-used.
 - Cover existing siding and ceiling with new layer of insulation under new layer of vinyl siding (see cut sheet in packet).
 - Cover porch window and door casings and trim with aluminum coil. (See cut sheet in packet.)



All work performed to side porch are in partially enclosed areas toward the rear of the building. These areas are not visible from the street.

For purposes of this project, “encapsulate” shall be defined as – Wet scrape all loose and flaking paint to bare substrate. Apply one coat of primer and one coat of Lead-Blocking Compound paint, then two coats of finish paint to entire surface.

5. PUBLIC COMMENT

Posted on city website November 3, 2021.

Notices were sent to abutters within 100 feet on November 3, 2021; 14 notices were sent.

As of the time of this report, no public comments had been received.

6. STAFF REVIEW:

- a. REVIEW STANDARDS: Article XV (Historic Preservation Ordinance), Section 13 (Evaluation standards for certificate of appropriateness).

The Ordinance states the following in the submission requirements section of the Ordinance (Article XV (Historic Preservation Ordinance), Section 11 (Evaluation standards for certificate of appropriateness):

Section 13 Evaluation standards for Certificate of Appropriateness.

A. Reconstruction and alterations.

1. A building or structure classified as an historic landmark or located within an historic district, or any part thereof, or any appurtenance related to such structures, including but not limited to walls, fences, light fixtures, steps, paving and signs, shall not be reconstructed or altered unless a certificate of appropriateness has been issued for such activity. No certificate of appropriateness for a structure or building identified as contributing to the district shall be issued unless the proposed activity is found to preserve or enhance a building's or structure's historical or architectural character. No certificate of appropriateness shall be issued for a noncontributing structure or building unless the proposed activity is complementary to the historic character of surrounding structures and buildings and meets the intent of this ordinance.

2. The standards and requirements in the United States Secretary of the Interior's Standards of Rehabilitation as well as the following factors shall be considered when reviewing applications for reconstruction or alteration of buildings or structures subject to review under this ordinance:

- a. Every reasonable effort shall be made to use a property for its historic purpose and in a way which will require minimum alteration to the structure and its environment;*

- b. Rehabilitation work shall not destroy the distinguishing qualities nor character of the structure and its environment. The removal or alteration of any historic material or architectural features should be avoided;*
- c. Deteriorated architectural features should be repaired rather than replaced, wherever possible. In the event that replacement is necessary, the new material should match the material being replaced in composition, design, texture and other visual qualities. Repair or replacement of missing architectural features should be based on physical or pictorial evidence rather than on conjectural designs or the availability of different architectural features from other buildings;*
- d. Distinctive stylistic features or examples of skilled craftsmanship which characterize historic structures and often predate the mass production of building materials shall be treated with sensitivity;*
- e. Changes which may have taken place in the course of time are evidence of the history and development of the structure and its environment, and these changes shall be recognized and respected;*
- f. All structures shall be recognized as products of their own time. Alterations to create an earlier appearance shall be discouraged;*
- g. Contemporary design for additions to existing structures shall be encouraged if such design is compatible with the size, scale, material and character of the neighborhood, the structure or its environment; and*
- h. Wherever possible, new additions or alterations to structures shall be done in such a manner that if they were to be removed in the future the essential form and integrity of the original structure would be unimpaired.*

C. Construction of new buildings or structures. The construction of a new building or structure within an historic district shall be generally of such a design, form, proportion, mass, configuration, building material, texture, color and location on a lot as will be compatible with buildings, structures and open spaces where it is visually related and in keeping with the area. The following factors shall be considered:

- 1. **Height.** The height of proposed buildings shall be compatible with adjacent buildings;*
- 2. **Proportion of building's front facade.** The relationship of the width of the building to the height of the front elevation shall be visually compatible with buildings, structures and open spaces where it is visually related;*
- 3. **Proportion of openings within the facade.** The relationship of the width of the windows to the height of windows and doors in a building shall be visually compatible with that of windows and doors of buildings to which the building is visually related;*
- 4. **Rhythm of solids to voids in front facades.** The relationship of solids to voids in the front facade of a building shall be visually compatible with that of the buildings to which it is visually related;*
- 5. **Rhythm of spacing of buildings on streets.** The relationship of the building to the open space between it and adjoining buildings shall be visually compatible with that prevailing in the area to which it is visually related;*
- 6. **Rhythm of entrance and/or porch projection.** The relationship of entrances and porch projections to sidewalks of a building shall be visually compatible with that of buildings to which it is visually related;*

7. **Relationship of materials and textures.** *The relationship of the materials and textures of the facade of a building shall be visually compatible with that of the predominant materials used in the buildings to which it is visually related;*
8. **Roof shapes.** *The roof shape of a building shall be visually compatible with that of the buildings to which it is visually related;*
9. **Scale of building.** *The size of the building and the building mass of a building in relation to open spaces, the windows, door openings, porches and balconies shall be visually compatible with those characteristics of buildings and spaces to which it is visually related; and*
10. **Directional expression of front elevation.** *A building shall be visually compatible with the building, squares and places to which it is visually related in its directional character, whether this shall be vertical character, horizontal character or non directional character.*

b. OUTSTANDING ITEMS TO BE ADDRESSED PRIOR TO APPROVAL:

1. None

7. STAFF RECOMMENDATION:

Recommend the Commission consider the submitted application for approval, approval with conditions, or denial.

8. STAFF RECOMMENDATION:

If the Commission approves the project, Staff recommends doing so with the following minimum Conditions of Approval attached:

- a. **All permits must be obtained from Code Enforcement prior to beginning any work.**

9. SAMPLE MOTIONS

- A. *Motion to approve the Certificate of Appropriateness for James Nunan to make exterior alterations for the purposes of lead abatement at 9 St Mary's Street in the MSRD-2 zone based on materials presented and conditioned on the following:*

a. All permits must be obtained from Code Enforcement prior to beginning any work.

b. _____

B. Motion to table this item until the following minimum additional information has been submitted for review:

a. _____

b. _____



CITY OF BIDDEFORD PLANNING DEPARTMENT

Brad Favreau
205 Main Street
PO Box 586
Biddeford, ME 04005
207-284-9115

Brad.Favreau@biddefordmaine.org

HISTORIC PRESERVATION COMMISSION APPLICATION FOR A CERTIFICATE OF APPROPRIATENESS

Type of Application (see pages 2 and 3 below):

- ☒ Certificate of Appropriateness – Commission Review (\$275.00 fee)
- ☐ Certificate of Appropriateness – Subcommittee Review (\$50.00 fee)

Note: If unsure, check with the Planning Department which applies.

Applicant's/Owner's Information:

Applicant's Name: James Nunan, Legal Representative, Estate of Kimberly Eaton

Applicant's Address: 40 State St. # 101 Biddeford, ME 04005

Applicant's Phone(s): 207-282-1999 / 207-815-8328

Applicant's E-mail: james@jnunan.com

Applicant's Legal Interest in the Property:

☒ Owner ☐ Purchase and Sale ☐ Lease/Rental Agreement

Owner's Name: Same as above

Owner's Address: _____

Owner's Phone(s): _____

Owner's E-mail: _____

Representative's (Agent, Engineer, Architect, and/or Contractor) Information:

Agent's Name: Andrew Watson, Maine Lead Designer/Rehab Specialist, LD-0335

Agent's Address: Community Concepts, INC 240 Bates St Lewiston, ME 04240

Agent's Phone(s): 207-890-0396

Agent's E-mail: awatson@community-concepts.org

Attach separate pages where multiple representatives are involved.

Project Information:

Project Address: 9 St. Mary's Street
Project Zone: MSRD 2 Existing Use of Property: Multi-unit rental (seven units)
Project Tax Map(s): Map 38, Lot 33 Project Lot Number(s): _____

COMMISSION Review Project Activities (Check all that apply):**Alterations and Repair**

- ☒ Removal and/or replacement of architectural detailing (for example porch spindles and columns, railings, windows and window moldings, and cornices)
- ☒ Installation or replacement of siding
- ☐ Porch replacement or construction of new porches
- ☐ Installation or replacement of either roofing or gutters when they are a significant and integral feature of the structure
- ☐ Alteration of accessory structures such as garages
- ☒ Other: rehab work is the result of application to the City's Lead & Healthy Homes Program

Additions and New Construction

- ☐ New Construction
- ☐ Building additions, including rooftop additions, dormers or decks
- ☐ Construction of accessory structures
- ☐ Installation of exterior access stairs or fire escapes
- ☐ Installation of antennas and satellite receiving dishes
- ☐ Installation of solar collectors
- ☐ Rooftop mechanicals (e.g., HVAC)
- Other: _____

Moving and Demolition

- ☐ Moving of structures or objects on the same site or to another site
- ☐ Any demolition or relocation of a landmark contributing and/or contributing structure within a district

☐ Other: _____

SUBCOMMITTEE Review Project Activities (Check all that apply):

Alterations and Repair

- ☐ Masonry work, including repointing, sandblasting, chemical cleaning, painting where the
- ☐ masonry has never been painted, or conversely, removal of paint where the masonry historically has been painted
- ☐ Other: _____

Signage and Exterior Utilities

- ☐ Installation or alteration of any exterior sign, awning, or related lighting
- ☐ Exterior lighting where proposed in conjunction with commercial and institutional signage or awnings
- ☐ Exterior utilities, including mechanical, plumbing, and electrical, where placed on or near clearly visible facades
- ☐ Other: _____

Note: In cases where the project is minor in nature, the Planning Department may determine that even if the activity qualifies for full Commission review it would be more appropriate to have it delegated to Subcommittee review.

Note: Your project may also require a building permit. Please call the Code Enforcement Office (284-9236) to make this determination.

Submittal Information Checklist:

- ☒ **Required Application Fee:** If full Commission review is required - **\$275.00**
If Subcommittee review is required – \$50.00

If FULL COMMITTEE Review is required - 8 Copies of the following are required:

- ☒ Completed Application Form
- ☒ Description of Proposed Activity

If FULL COMMITTEE Review is required - 8 Copies of the following are recommended or may be requested:

- ☒ Photographs of the building involved as well as adjacent buildings
Samples of materials proposed for use in the activity
- ☒ Drawings (i.e., exterior elevations) and/or plans to illustrate the proposed activity for which the certificate is being applied for, including lettering styles (if applicable)

Note: Where Subcommittee Review is applicable, only 3 Copies of the above should be submitted.

I, James Nunan, authorize the City of Biddeford to charge a one-time application fee of \$275 to my credit card # ending -9187; Expiration date: 10/26; 3-digit: 526; Billing Zip Code: 04005.

APPLICANT (OWNER):

Signature of applicant:


Estate of Kimberly K Eaton by James N. Nunan, Personal Representative

Date: October 27, 2021

Signature of property owner: _____

Date: _____

9 ST MARYS ST

Location 9 ST MARYS ST

Mblu 38/ 33/ / /

Acct#

Owner EATON, KIMBERLY

Assessment \$441,400

Appraisal \$441,400

PID 4035

Building Count 1

Current Value

Appraisal			
Valuation Year	Improvements	Land	Total
2021	\$336,500	\$104,900	\$441,400
Assessment			
Valuation Year	Improvements	Land	Total
2021	\$336,500	\$104,900	\$441,400

Owner of Record

Owner EATON, KIMBERLY
Co-Owner
Address PO BOX 432
BIDDEFORD, ME 04005

Sale Price \$313,829
Certificate
Book & Page 15319/0833
Sale Date 12/17/2007
Instrument 00

Ownership History

Ownership History					
Owner	Sale Price	Certificate	Book & Page	Instrument	Sale Date
EATON, KIMBERLY	\$313,829		15319/0833	00	12/17/2007
CAIAZZO, STEPHEN J & LAURIE J	\$280,000		11930/0075	00	08/30/2002
MAXIM RENTALS INC	\$80,000		7875/0289	1N	06/16/1996
APEX INC	\$0		7724/0116	1L	02/20/1996
MCADAM THOMAS J &	\$0		04218/0022		03/20/1987

Building Information

Building 1 : Section 1

Year Built: 1900

Building Photo

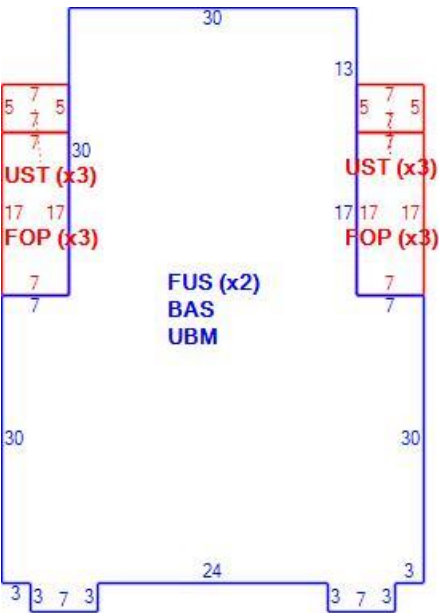
Living Area:	6,786
Replacement Cost:	\$647,161
Building Percent Good:	52
Replacement Cost	
Less Depreciation:	\$336,500

Building Attributes	
Field	Description
Style:	Apartments
Model	Commercial
Grade	Average
Stories:	3
Occupancy	7.00
Exterior Wall 1	Clapboard
Exterior Wall 2	
Roof Structure	Flat
Roof Cover	Tar & Gravel
Interior Wall 1	Plastered
Interior Wall 2	Drywall/Sheet
Interior Floor 1	Carpet
Interior Floor 2	Vinyl/Asphalt
Heating Fuel	Oil
Heating Type	Hot Water
AC Type	None
Struct Class	
Bldg Use	SEVEN UNIT
Total Rooms	
Total Bedrms	11
Total Baths	7
No. of Comm. Units	
No. of Res. Units	
1st Floor Use:	1113
Heat/AC	NONE
Frame Type	WOOD FRAME
Baths/Plumbing	AVERAGE
Ceiling/Wall	CEIL & WALLS
Rooms/Prtns	AVERAGE
Wall Height	10.00
% Comn Wall	0.00



(<http://images.vgsi.com/photos/BiddefordMEPhotos/\00\00\23\24.jpg>)

Building Layout



(ParcelSketch.ashx?pid=4035&bid=4180)

Building Sub-Areas (sq ft)			Legend
Code	Description	Gross Area	Living Area
FUS	Upper Story, Finished	4,524	4,524
BAS	First Floor	2,262	2,262
FOP	Porch, Open, Finished	714	0
UBM	Basement, Unfinished	2,262	0
UST	Utility, Storage, Unfinished	210	0
		9,972	6,786

Extra Features

Extra Features		Legend
----------------	--	--------

No Data for Extra Features

Land

Land Use

Use Code 1113
Description SEVEN UNIT
Zone MSRD2
Neighborhood 0003
Alt Land Appr Category No

Land Line Valuation

Size (Acres) 0.2
Frontage 0
Depth 0
Assessed Value \$104,900
Appraised Value \$104,900

Outbuildings

Outbuildings	Legend
No Data for Outbuildings	

Valuation History

Appraisal			
Valuation Year	Improvements	Land	Total
2020	\$280,400	\$89,100	\$369,500
2019	\$280,400	\$89,100	\$369,500
2018	\$280,400	\$89,100	\$369,500

Assessment			
Valuation Year	Improvements	Land	Total
2020	\$280,400	\$89,100	\$369,500
2019	\$280,400	\$89,100	\$369,500
2018	\$280,400	\$89,100	\$369,500

Visit History

Visit History		
Visit Date	Purpose of Visit	Notes
7/25/2008	Outside inspection only	
5/11/2004	Outside inspection only	
4/5/2002	COMM/IND/APTS 2002-2003 EXTERIOR	
9/29/1989	MEAS & LISTD	

LEAD DESIGN SPECIFICATIONS

LEAD DESIGN PREPARED BY:

Andrew Watson LD-0335

Community Concepts

207-890-0396

Design date: 10/06/2021

Owner Name: *Kimberly Eaton*
Address: *9 Saint Mary St EXTERIOR*
Biddeford, Maine

Phone:

Contractor Name: -

Address: -

PHONE: -

After careful review the applicant(s) and contractor understand and accept the work described. Only the work listed in this design specification will be performed. ANY and ALL changes to these design specifications must be by a written change order and agreed to by all parties following program requirements.

X _____
Contractor

Date

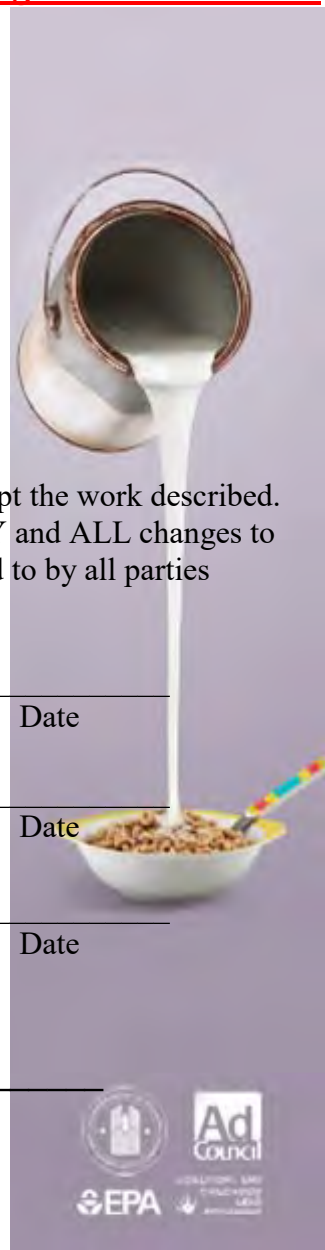
X _____
Owner

Date

X _____
Owner

Date

CONTRACT PRICE \$ _____



REHABILITATION STANDARDS AND SPECIFICATIONS

SECTION 1 – GENERAL

Section 1 - General Requirements for All Project Specifications

1. All work performed shall conform to the General Standards herein, DEP Lead Management Regulations (Chapter 424), HUD requirements for Notification, Evaluation, and “Reduction of Lead-Based Paint Hazards in Federally Owned Residential Property and Housing receiving Federal assistance” (24 CFR Part 35) EPA Renovation, Repair and Painting Rule, manufactures recommendations, and all applicable Local and State building codes, laws and regulations. **If no local building code exists, the MUBEC will apply.**
2. Scrape inspections are required for removal of paint from components (abatement or interim control). Scrape inspections are required for both interior and exterior work prior to the priming and or painting process. If a scrape inspection has not been performed, the Contractor will be required to remove any paint to ensure compliance with this section.
3. Any and all DEP project variances must also be approved in writing by the Lead Designer and **Biddeford** prior to implementation.
NOTE: Monetary change orders may be required by **Biddeford**.
4. All measurements are approximate and must be verified by the Contractor. No claim for additional funds due to discrepancies in measurements or quantities shall not be honored.
5. All Materials having color or pattern shall be selected by the owner from standard color/style chart. All colors, styles, and types of materials will be listed in the job specifications prior to contract signing.
6. All installed windows and exterior doors will be Energy Star rated for the Northeast. All windows will have a U-Value of .30 or less. Windows will have full screens. Egress casement windows will have a factory installed horizontal mullion to give the appearance of a double hung window.
NOTE: Single hung windows will require half screens.
7. All exterior doors installed will be keyed alike (per unit) and include adjustable thresholds and half glass unless otherwise noted in design specifications. Exterior doors will meet Energy Star requirements for the Northeast.
8. Building permits, electrical permits, plumbing permits and other permits required by local or State authorities shall be obtained by the contractor and the costs shall be incorporated into the proposal amount submitted by contractor. Contractor must obtain permits prior to commencement of work and must provide copies of permits to the Owner and the CAA for documentation. Failure to obtain required permits will result in nonpayment of work until the necessary permits are obtained.
9. Workmanship and materials not covered by manufacturers warranty shall be warranted by the Contractors for a period of at least one year from date of final payment to the

contractor. All manufacturer warranties shall be delivered by the Contractor, to the homeowner along with the final billing. Manufacturer's installation instructions, as required by the 2009 ICC Code shall be available on the job site at the time of inspection.

10. Product information/labeling showing compliance, where required, with Energy Star Ratings shall be provided to the home owner and CAA prior to installation.
11. All Interim Control work must be performed in accordance with both RRP and HUD Lead-Based Paint regulations as described in 24 CFR Part 35 et al, with the exception that certain contractors such as electrical, plumbing, roofing, weatherization and heating specialists may be exempt from using HUD lead safe practices so long as they do not disturb any more than two square feet of painted surfaces per room or a total of 20 square feet of painted surfaces on the exterior. Contractors performing work in accordance with HUD Lead-Based Paint regulations as described in 24 CFR Part 35 et al must have attended an EPA RRP course taught by a Maine DEP certified training provider. Lead safe practices must be employed in all work that disturbs painted surfaces. After completion of all work, contractor must clean the work area(s) to meet HUD Lead Dust clearance standards as follows;

Hard floors and Carpeted floors = 10 micrograms (ug) per square foot (ft²).

Interior Window Sills = 100 ug/ ft²

Window troughs = 100 ug/ ft²

Exterior porch nonporous surfaces = 40 ug/ ft²

If dust wipe samples do not pass the above standards, contractor must return to the job site, at his own expense, and clean until these standards are met. Final payment will be withheld until clearance standards are achieved. Costs incurred for an additional site visit and dust wipe sampling costs will be taken from monies due to the contractor. In homes where there are children under 6 years of age the Owners must, at their own expense, temporarily relocate these children from work areas where paint will be disturbed until the work has been completed and the dust wipe clearance standards shown above have been achieved.

12. The contractor must inspect the property and attend a pre-bid walkthrough. Submission of a bid is presumptive evidence that the bidder has thoroughly examined the site during a pre-bid walk through and is conversant with the requirements of the local jurisdiction.
13. All materials used in conjunction with this work write-up are to be new, of first quality and without defects – unless stated otherwise or pre-approved by owner and Design Consultant in writing.
14. Contractors shall not perform any work, substitute any specified materials, colors, patterns, quantities, or change specified material qualities or quantities not listed in the job specifications without a written change order pre-approved by **Biddeford** owner and Lead Design Consultant.

15. All materials shall be installed in full accordance with the manufactures specifications and industry standards for working conditions, surface preparation, methods, testing, and protection.
16. All repaired or newly installed exterior non pressure treated wood must be sealed, stained or otherwise protected from the elements following industry standards.
17. Walls and attached components shall be identified with the letters A, B, C, D etc. Wall A is always the wall that is closet to the address elevation or “street side” of the house. Moving clockwise, the walls are then B, C, D, etc.
18. Down payment or deposits to contractors are not authorized. No work/materials will be paid for in advance.
19. Detailed invoices shall accompany each payment request.
20. The use of the “Booth” system will be determined by the Lead Design Consultant. Determination shall be in writing.
21. Any and all changes in the Lead Design agreed to during the Pre-bid Walkthrough will be made in writing in the form of a bid amendment. This form will become part of the contractors bid proposal and will be submitted with contractors bid.

SECTION 2 DEFINITIONS

- 1 Abatement. “Abatement” means any measure or set of measures designed to permanently eliminate lead hazards. For the purpose of this definition, “permanently means for at least 20 years.
- 2 Impact Surface. “Impact surface” means a surface that is subject to damage by repeated sudden force, such as certain parts of door frames.
- 3 Interim control. “Interim control means a set of non-abatement measures designed to temporarily reduce human exposure or likely exposure to lead hazards, including specialized cleaning, repairs, maintenance, painting, temporary containment, ongoing monitoring of potential lead hazards and the establishment and operation of management and resident education programs.
 - a. NOTE: When interim control measures (covering a surface with a coating or other treatment) are used, friction points or friction surfaces must be treated so that paint is not subject to abrasion. Examples of acceptable treatments include re-hanging and or planning doors so that the door does not rub against the door frame, or removing paint from the friction/impact part of a door jamb (frame).
- 4 Install. “Install” means to purchase, set up, test, and warrant a new component. “Replace” means to remove and dispose of original material, purchase new material, deliver, install, test, and warrant.
- 5 PAINT. “Paint means any substance applied to a surface as a coating, including, but not limited to household paints, varnishes, and stains.
- 6 Repair. Repair” means to return a building component to like new condition through replacement, adjustment, and recoating of parts.
- 7 Reinstall. “Reinstall means to remove, clean, store, and install a component.

- 8 Substrate. "Substrate" means the material underneath the paint such as brick, concrete, drywall, metal, plaster or wood.
- 9 Work Area. "Work area" means an interior or exterior area where lead abatement or interim control activities take place. There may be more than one work area in a residential dwelling or child care facility.
- 10 Window & Door Units. Window/door components are defined as follows:
 - a. Window sash (includes mullions)
 - b. Window casing (includes header and apron)
 - c. Window sill
 - d. Window jamb (includes parting bead and stops)
 - e. Window well (also called trough)
 - f. Door (includes stiles, panels and edge)
 - g. Door jamb (includes frame and stops)
 - h. Door casing (includes header)
 - i. Door threshold

SECTION 3 –SCOPE of WORK

The scope of work shall consist of complete paint removal, encapsulation, enclosure, and/or whole component removal of lead-based paint hazards as identified in the lead based-paint inspection report.

II. Owner Responsibilities:

1. Owner shall remove all personal belongings from the house/work area.
2. Owner shall shut off gas to the stove, (if applicable).
3. Owner shall provide keys to the Contractor for access to the home.
4. Owner shall pre-determine colors and flooring selections in writing. This shall be performed prior to the start date.
5. Owner shall supply electricity, water and heat for the duration of the project.
6. Owner shall remove and keep clear, all debris from the exterior at least 10 feet from the building perimeter if exterior work is performed.

III. Contractor Responsibilities:

1. Contractor shall confirm that all furniture and personal belongings have to be removed from the house/work area prior to the start of the project.
2. Contractor shall coordinate access to the home for any visual inspections and clearance sample testing.
3. Contractor shall be responsible for completing all work specified in the Design Plan including any and all revisions made to the design for the purpose of the project within contract dates specified.

4. Contractor shall perform an ASTM approved tape method before applying any encapsulating paint to a building component to ensure proper adhesion to the substrate.
5. Contractor shall store debris in a secure area until final disposal. Dispose of in accordance with the Department of Environmental Protection's Lead Management Regulations.
6. Contractor shall be financially responsible for all associated sampling costs such as administrator labor, travel, postage, and laboratory analysis of the dust samples if interim or final clearance samples fail.
7. Contractor shall repair or replace any building components damaged during the project to match existing building components.
8. All product warranty information must be given to the home owner prior to final payment of project. Product labels (stickers) showing Energy Star Compliance will remain in place until inspected and approved by Lead Design Consultant.
9. A written notification plan will be developed by the Contractor and provided to the owner/tenant, the Administrator and **Biddeford**.
10. Contractor shall provide a final abatement report to the MSHA, Administrator, and the homeowner within 30 days after project completion in accordance with DEP Chapter 424, Section 6.G.
11. The use of a "Booth" system will be determined by the Lead Design Consultant and shall be in writing.

SECTION 4 – NOTIFICATIONS

1. **NOTIFICATION:** The abatement contractor shall notify the Department of Environmental Protection, the Administrator and **Biddeford** at least five (5) working days prior to the start of any lead abatement activity, including set-up or on-site preparation activities. Delivery of notice by U.S. Postal Service, commercial delivery service, hand delivery, facsimile or email are acceptable methods. **Biddeford** also requires notification of Interim Control /LSR work performed on site.
NOTE: A weekly updated schedule for each lead abatement project by dwelling unit, if applicable, shall be faxed/emailed each Monday morning to **ALL** above listed parties until the project is complete. In the event of a scheduled work day/hours are changed after the weekly notification, the contractor must notify the DEP, Administrator and **Biddeford** by email or phone no later than 8 A.M on the day of the scheduled change.
2. **TENANT NOTIFICATION:** The abatement contractor shall notify the tenants of the pending abatement activity. This notification shall include the scheduled dates for abatement, work hours, identification of work areas, and information on any alternative entrance or exit to be used during the course of the abatement activities. This notification shall be in writing and delivered at least five days prior to the start of the project.

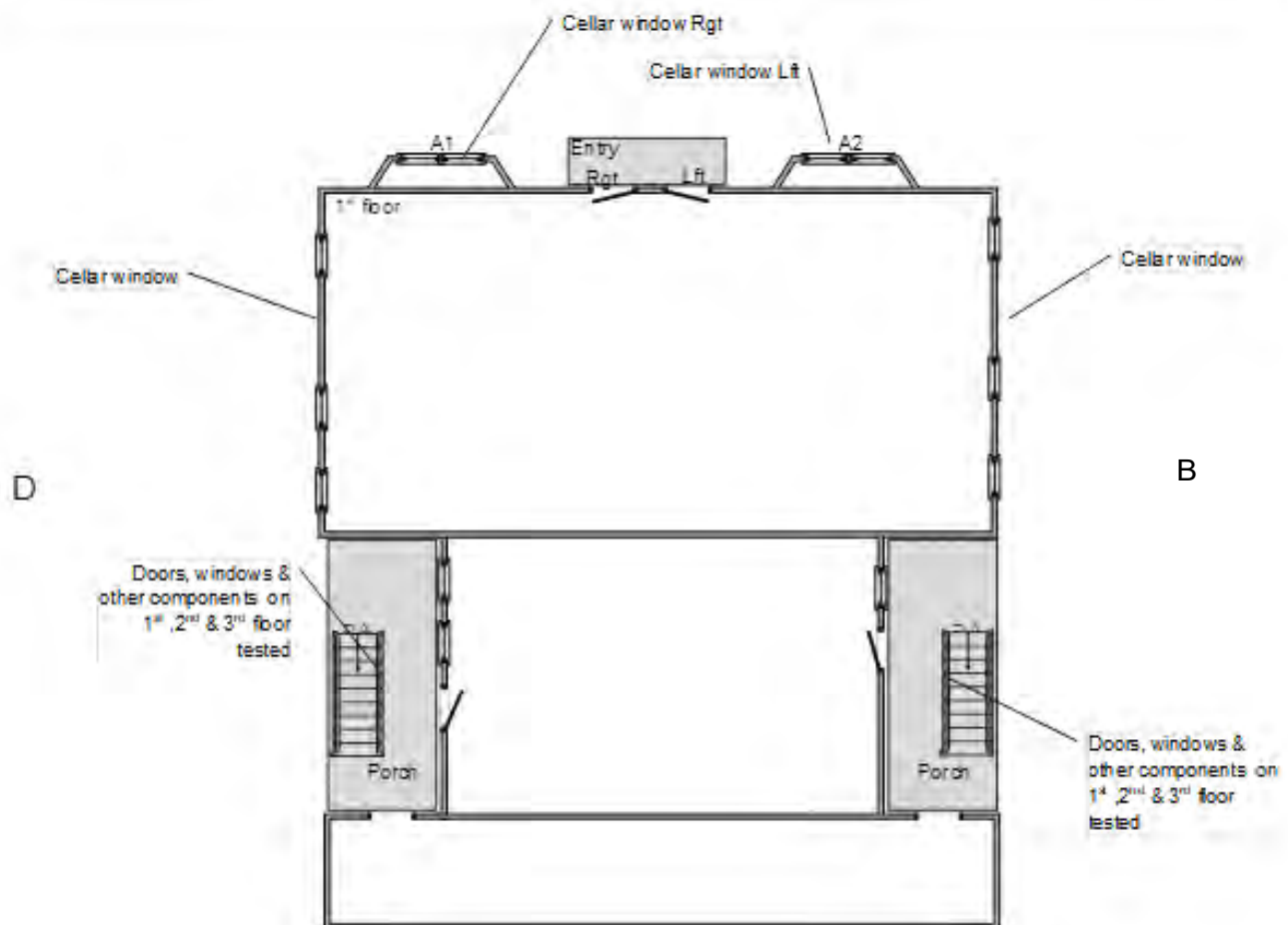
Address **9 St Mary Street –Exterior**
Biddeford, Maine

[illegible]

Address : 9 Saint Mary Street Apt#302 Biddeford Maine
Date : 07/22/2021

A
Street-Facing Side

Saint Mary Street



Not Visible from the Street

C

Note: Please be advise that improper removal of lead paint can pose serious health risk to dwelling occupants and removal personnel. Removal should be done by qualified professionals who have de-leading experience and the proper equipment to ensure that no one is put at risk.

Key s

Window

door

opening

9 St. Mary's Street, Biddeford Maine
Lead Hazard Abatement and Healthy Homes Scope of Work -- Photos for Historic Preservation

A Side (Street-facing) Lead Abatement: Cellar Windows, left and right



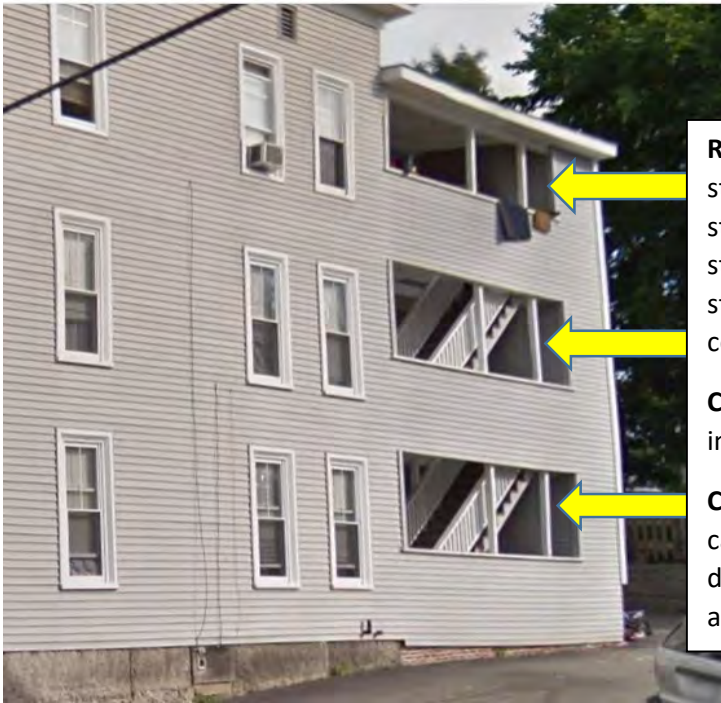
A-Side Left & Right Cellar Window Casing & Sashes

Encapsulation: Wet scrape all loose and flaking paint down to the bare substrate. Apply one coat of primer and one coat of Lead-Blocking Compound Paint & 2-Coats of Finish Paint to the entire surface of the trim.

ABATEMENT: Remove and dispose of existing windows. Install pre-approved complete [Cellar hopper fixed unit]. Match existing window stops. Any re-installed trim/window components damaged during removal will be replaced by contractor.

9 St. Mary's Street, Biddeford Maine
Lead Hazard Abatement and Healthy Homes Scope of Work -- Photos for Historic Preservation

D-Side Open Porch Lead Abatement—All Levels:



Remove & replace interior stair stringer, tread & risers. Install new stairs using notched 2"x 12" standard-grade pressure- treated stringers, treads & risers of solid construction, without perforations.

Cover wooden porch ceiling & interior porch siding with vinyl.

Cover interior porch window casings & sills and interior porch door casings & jambs with aluminum coil.

**B-Side Open Porch Lead Abatement
—All Levels:**

Remove & replace interior stair stringer, tread & risers. Install new stairs using notched 2"x 12" standard-grade pressure- treated stringers, treads & risers of solid construction, without perforations.

Cover wooden porch ceiling & interior porch siding with vinyl.

Cover interior porch window casings & sills and interior porch door casings & jambs with aluminum coil.



Exterior A side

Window casing, sill & trim {upper & lower}

Encapsulation: Wet scrape all loose and flaking paint down to the bare substrate. Apply one coat of primer and one coat of LBC Paint & 2-Coast of Finish Paint to the entire surface of the trim.

- **Repair rotten trim** {*this will include 15 feet*}

Cellar window casing & sash Ax2

Encapsulation: Wet scrape all loose and flaking paint down to the bare substrate. Apply one coat of primer and one coat of LBC Paint & 2-Coast of Finish Paint to the entire surface of the trim.

&

ABATEMENT: Remove and dispose existing window, including storm window. Remove window weights if present. All windows must be labeled showing a U-value of .28 or less. Labels must remain in place until approved/Inspected by CAA Insulate window weight cavity using spray foam insulation. Caulk window stops using exterior grade caulking. Install pre-approved complete [*Cellar hopper fixed unit*] following manufactures recommendations. Apply low expanding foam/caulking around window jamb/rough opening. [**Matching existing**] window stops. Any re-installed trim/window components damaged during removal will be replaced by contractor.

- **NOTE:** If Basement Windows get replaced, All Wood Frame should be rebuilt if rotted, using pressure treated Lumber.

Entry support, trim & ceiling

Door casing A

Encapsulation: Wet scrape all loose and flaking paint down to the bare substrate. Apply one coat of primer and one coat of LBC Paint & 2-Coast of Finish Paint to the entire surface of the trim.

Exterior B side

Window casing, sill {located on porch area all levels}

Door casing & jamb {located on porch area all levels}

Porch upper trim {located on porch area 3rd floor}

Enclosure with Aluminum Coil Stock: Install aluminum coil stock to the entire surface of the fascia using color coordinated nails. Caulk all seams (**Do not caulk and seal long spans where the building needs room to expand and contract with the seasons**).

Cellar window casing B

Encapsulation: Wet scrape all loose and flaking paint down to the bare substrate. Apply one coat of primer and one coat of LBC Paint & 2-Coast of Finish Paint to the entire surface of the trim.

Siding B {located on porch area all levels}

Enclosure: Prepare walls by re-nailing existing siding to provide smooth surface. Mechanically fasten a minimum of 3/8" fan-fold building insulation to the entire wall surface (including soffits). Vinyl enclosure systems do not need to be caulked or sealed according the Maine Lead Management Regulations, Chapter 424. All cuts at windows and doors will be cleanly cut and closely fitted. Install all required starter strips. Double four (8") or double five (10") vinyl siding [Alcoa Liberty, Alside, Certainteed or pre- approved equal] shall be installed in accordance with manufacturer's specifications, shall have at least a 20 year guarantee and include all installation accessories following manufacturers recommendations. Owner to select color from manufacturer's standard colors. Work to include all starter strips, J molding and corner trim. Color to be _____

Porch stair system B side

Remove and dispose of existing Stair stringer, tread & riser, using lead safe practices. Maintain existing roof rafters, sheathing and roofing.

Install stairs using notched 2"x 12" standard grade pressure treated **stringers, Treads & riser** shall be solid, without perforations.

Exterior D side

Window casing, sill {located on porch area all levels}

Door casing & jamb {located on porch area all levels}

Porch ceiling {located on porch area 3rd floor}

Enclosure with Aluminum Coil Stock: Install aluminum coil stock to the entire surface of the fascia using color coordinated nails. Caulk all seams (**Do not caulk and seal long spans where the building needs room to expand and contract with the seasons**).

Siding D {located on porch area all levels}

Enclosure: Prepare walls by re-nailing existing siding to provide smooth surface. Mechanically fasten a minimum of 3/8" fan-fold building insulation to the entire wall surface (including soffits). Vinyl enclosure systems do not need to be caulked or sealed according the Maine Lead Management Regulations, Chapter 424. All cuts at windows and doors will be cleanly cut and closely fitted. Install all required starter strips. Double four (8") or double five (10") vinyl siding [Alcoa Liberty, Alside, Certainteed or pre- approved equal] shall be installed in accordance with manufacturer's specifications, shall have at least a 20 year guarantee and include all installation accessories following manufacturers recommendations. Owner to select color from manufacturer's standard colors. Work to include all starter strips, J molding and corner trim. Color to be _____

Porch stair system D side

Remove and dispose of existing Stair stringer, tread & riser, using lead safe practices. Maintain existing roof rafters, sheathing and roofing.

Install stairs using notched 2"x 12" standard grade pressure treated stringers, Treads & riser shall be solid, without perforations.

Rehab Materials List: 9 St. Mary's Street Biddeford
Lead Abatement Project via City's Lead Program

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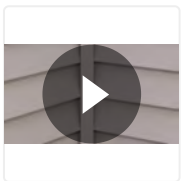
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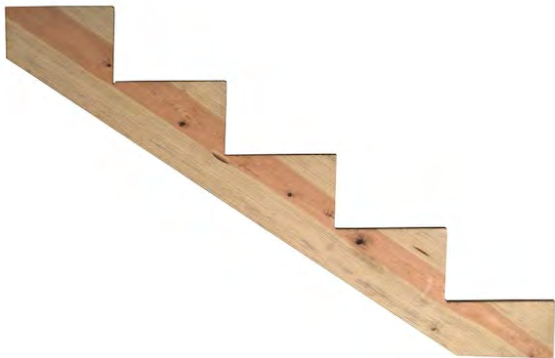
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Severe Weather 5-Step Pressure Treated Wood Stair Stringers

Item #643710 Model #5STEPT12140C

Southern yellow pine stair stringer aids in building outdoor staircases
Severe Weather Ground Contact pressure treated exterior wood protected
Ground contact treatments are not suitable for direct contact with aluminum or un-coated metal products

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Severe Weather 5-Step Pressure Treated Wood Stair Stringers

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Product Features

- Southern yellow pine stair stringer aids in building outdoor staircases
- Severe Weather Ground Contact pressure treated exterior wood protected
- Ground contact treatments are not suitable for direct contact with aluminum or un-coated metal products
- Treatment meets American Wood Protection Association (AWPA) standards and is building code compliant (IRC and IBC)
- Limited warranty that protects against damage by fungal decay or termite attack which makes the wood structurally unfit for which it was intended
- Cut with 6-1/2-in rise and 10-in tread
- For decks or landings with a height between 29 inches and 35 inches
- For optimal performance of paint and stain coatings, allow the wood to dry after installation, and apply a UV protective finish to enhance the long-term beauty
- Use building code approved fasteners and hardware; hot-dipped galvanized or stainless-steel is recommended



Warranty
Guide

PDF



Use and Care
Manual

PDF



Installation
Manual

PDF

SPECIFICATIONS

Series Name	N/A	For Use with Deck Stairs		Feedback
Finish	N/A	For Use with Porches		
Actual Height from Ground (Feet)	2.67	Pressure Treated		
Material	Wood	Warranty	Limited lifetime	
Number of Steps	5	Wood Species	Pine	

+ Show All



Severe Weather 5-Step Pressure
Treated Wood Stair Stringers

\$20.98

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ReliaBilt 30001 Series 31.75-in x 13.75-in x 3-in Jamb Tilting Vinyl Replacement White Basement Hopper Window
Item #5581 Model #VBHI3214

Reliabilt basement hopper window is manufactured with a heavy duty welded vinyl main frame
White vinyl window with dual pane insulated glass
Internal weeping system

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ReliaBilt 30001 Series 31.75-in x 13.75-in x 3-in Jamb Tilting Vinyl Replacement White Basement Hopper Window

\$80.00

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OVERVIEW

The Reliabilt vinyl basement hopper window is manufactured with a heavy duty extruded welded vinyl sash and main frame. The window tilts inward for easy cleaning and operation. Insulated glass and durable wool pile seals keep cold air out and warm air in. Included is an easily removable full screen to keep insects out. The hopper window is the perfect choice for your new construction or remodeling needs.

- Reliabilt basement hopper window is manufactured with a heavy duty welded vinyl main frame
- White vinyl window with dual pane insulated glass
- Internal weeping system
- Included is an easily removable full screen that keeps insects out
- Heavy duty vinyl frame and metal hinges
- Install with 1/2-in vinyl installation flange (which can be removed for replacement applications)
- Actual size is 31-3/4-in width and 13-3/4-in height
- Nominal size is 32 In. width and 14 In. height
- Rough opening 32-in width x 14-in height

Feedback



ReliaBilt 30001 Series 31.75-in x 13.75-in x 3-in Jamb Tilting Vinyl Replacement White Basement Hopper Window

\$80.00

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- Reliabilt basement hopper window is manufactured with a heavy duty welded vinyl main frame
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- Nominal size is 32 In. width and 14 In. height
- Rough opening 32-in width x 14-in height

 [Installation Manual](#)

PDF

SPECIFICATIONS

Actual Height (Inches)	13.75	Lock Type	Sweep
Actual Width (Inches)	31.75	Nail Fin	Integrated
Paintable	×	J Channel	N/A
Common Size (W x H)	32-in x 14-in	Mulling	N/A
UNSPSC	30171600	Wood Jamb Extension	None
Rough Opening Height (Inches)	14	High Altitude Rated	×
Rough Opening Width (Inches)	32	Hurricane Approved	×
Series Name	30001 Series	Miami Dade Approved	×
Color/Finish Family	White	Florida Product Approved	×
Grid Type	N/A	Texas Department of Insurance Approved	×
Grid Width	N/A	Jamb Depth (Inches)	3.0
Grid Profile	N/A	Meets CA Forced Entry Requirements	×



ReliaBilt 30001 Series 31.75-in x 13.75-in x 3-in Jamb Tilting Vinyl Replacement White Basement Hopper Window

\$80.00

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Glass Strength	Double strength
Obscure Glass	×
Frame Profile	Flat
Screen Included	Full
Screen Type	Fiberglass mesh
Screen Frame Type	Roll-form
Warranty	Limited lifetime
Lowe's Exclusive	✓
Project Type	Replacement
Meets Egress Requirement	×

Solar Heat Gain Coefficient (SHGC)	0.0
Frame Material	Vinyl
Tilting	✓
Grid Included	×
ENERGY STAR Certified Northern Zone	×
ENERGY STAR Certified North/Central Zone	×
ENERGY STAR Certified South/Central Zone	×
ENERGY STAR Certified Southern Zone	×
Interior Color/Finish	White
Exterior Color/Finish	White
Hardware Color/Finish	White

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ReliaBilt 30001 Series 31.75-in x 13.75-in x 3-in Jamb Tilting Vinyl Replacement White Basement Hopper Window

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Product Features

31.75-in x 13.75-in x 3-in Jamb Tilting Vinyl Replacement White

31.75-in x 13.75-in x 3-in Jamb Tilting Vinyl Replacement White

31.75-in x 13.75-in x 3-in Jamb Tilting Vinyl Replacement White

42