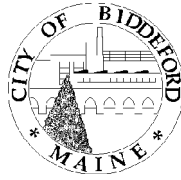


City of Biddeford
Capital Projects/Operations Committee
November 15, 2016 5:00 PM City Hall
Council Chambers

- 1. Roll Call**
- 2. Adjustments to the Agenda**
- 3. Acceptance of Minutes**
- 4. Old Business**
- 5. New Business**
 - 5.1. Acceptance of Cornerstone Dr.
[Dee Conerstone acceptance Capital Projects.doc](#)
 - 5.2. Acceptance of Westland Ave
[Pion Westaland acceptance Capital Projects.doc](#)
 - 5.3. Acceptance of McKenney Dr.
[Eon Mckenney Dr acceptance Capital Projects.doc](#)
- 6. Adjourn**



City of Biddeford, Maine

TO: Capital Projects Committee

FROM: Tom Milligan, PE City Engineer

DATE: November 8, 2016

**SUBJECT: John and Susan Dee, Cornerstone Drive,– Tax Map 22, Lot 14
Request for acceptance of Cornerstone Drive as a Public Road**

Based on the applicants' request for acceptance of Cornerstone Drive as a public way, the Engineering Department has conducted a final inspection of to determine if it has been constructed in substantial compliance with the City Street Standards and the approved plans.

During the course of construction of Cornerstone Drive, the Engineering Department conducted several inspections of the road to verify that it was being constructed in substantial compliance with the approved subdivision/roadway plans.

As the road has been determined to be substantially complete, Staff is recommending that the City formally accept Cornerstone Drive as a public way with any remaining improvements as may be noted below being bonded by a letter of credit or other acceptable performance guarantee.

Cornerstone Drive is a 26 foot wide, 650 feet long road located off Granite Street Extension. Cornerstone Drive is curbed and has a sidewalk.

The outstanding items are listed below.

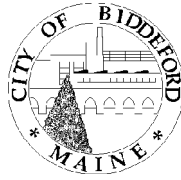
1. Timber guard rail and reflectors at the end of the road
To be completed prior to Council Acceptance
2. As-Built (on paper & mylar) & electronic copy for our GIS office
To be completed prior to Council Acceptance
3. Draft Deeds/tax forms
To be completed prior to Council Acceptance
4. Final Paving
The City has requested that the applicant delay final paving until the adjacent and connecting Cherryfield Drive is completed and paved. This delay in paving will ensure that damage will not occur to any new pavement placed (on Cornerstone) during the construction activities on Cherryfield Drive. The applicant will provide the City the funds or other suitable performance guarantee required to complete the paving and associated work. The funds to be provided are based on the cost that the applicants paving contractor would charge the applicant to complete the work. The City will coordinate the paving work with the paving of Cherryfield Drive, this paving will be paid for using the applicant's provided funds.
5. Sidewalk Paving
Sections of sidewalk base pavement will need to be repaired and the final pavement will need to be placed.

6. Catch Basin Cleaning of sumps as may be required
To be completed prior to Council Acceptance
7. Sewer Main Inspection and Cleaning as may be required
To be completed prior to Council Acceptance

The owner shall submit to the Engineering office prior to Council acceptance an as-built plan (on paper & mylar and an electronic copy for our GIS office), draft/final street deeds and tax forms.

Staff would recommend this street be forwarded to the City Council for formal acceptance conditioned upon the applicant addressing items items 4 and 5 and that items 1 thru 3, 6 and 7 being completeted prior to being placed on a Council agenda.

Cc: John and Susan Dee
Paul Gadbois, Engineer
Public Works – Guy Casavant & Ray Parent
City Planner -- Greg Tansley
City Manager – James Bennett
File



City of Biddeford, Maine

TO: Capital Projects Committee

FROM: Tom Milligan, PE City Engineer

DATE: November 8, 2016

**SUBJECT: Richard and JoAnn Pion, Westland Avenue,— Tax Map 21, Lot 57-2
Request for acceptance of the extension of Westland Avenue as a Public Road**

Based on the applicants' request for acceptance of the extension of Westland Avenue as a public way, the Engineering Department has conducted a final inspection to determine if it has been constructed in substantial compliance with the City Street Standards and the approved plans.

During the course of construction of the extension of Westland Avenue, the Engineering Department conducted several inspections of the road to verify that it was being constructed in substantial compliance with the approved roadway plans.

As the road has been determined to be substantially complete, Staff is recommending that the City formally accept the extension of Westland Avenue as a public way with any remaining improvements as may be noted below being bonded by a letter of credit or other acceptable performance guarantee.

The extension of Westland Avenue is a 23 foot wide, 125 feet long extension of the existing Westland Avenue (23 feet wide) located off West Street. This extension will provide a turnaround for City plow and trash trucks so that they will no longer have to back in or out of the current street as is now required. Three outstanding items are listed below.

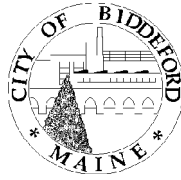
1. Grass Growth/stabilization/removal of erosion control once stable
To be complete prior to release of performance guarantee
2. As-Built- electronic copy for our GIS office
To be completed prior to Council Acceptance
3. Draft Deeds/tax forms
To be completed prior to Council Acceptance

Currently, the City has a cash performance guarantee from the Pions for \$9,600. The City will reduce this amount once all outstanding items in 2 and 3 have been addressed by the applicant.

The owner shall submit to the Engineering office prior to Council acceptance an as-built plan on an electronic copy for our GIS office, draft/final street deeds and tax forms.

Staff would recommend this street be forwarded to the City Council for formal acceptance conditioned upon Item 2 and 3 being addressed prior to being placed on a Council agenda. Additionally, the City will retain a \$2,000 performance guarantee for miscellaneous grass growth.(item)

Cc: Richard and JoAnn Pion
Paul Gadbois, Engineer
Public Works – Guy Casavant & Ray Parent
City Planner -- Greg Tansley
City Manager – James Bennett
File



City of Biddeford, Maine

TO: Capital Projects Committee

FROM: Tom Milligan, PE City Engineer

DATE: November 8, 2016

**SUBJECT: Indian Cliff Development Corp, McKenney Drive,–Tax Map 7, Lot 18-13
Request for acceptance of the extension of McKenney Drive as a Public Road**

Based on the applicants' request for acceptance of the extension of McKenney Drive as a public way, the Engineering Department has conducted a final inspection of McKenney Drive to determine if it has been constructed in substantial compliance with the City Street Standards and the approved plans.

During the course of construction of the extension of the McKenney Drive Engineering Department conducted several inspections of the road to verify that it was being constructed in substantial compliance with the approved roadway plans.

As the road has been determined to be substantially complete, Staff is recommending that the City formally accept the extension of McKenney Drive as a public way with any remaining improvements as may be noted below being bonded by a letter of credit or other acceptable performance guarantee.

The extension of McKenney Drive is a 26 foot wide, 400 foot long extension of the existing McKenney Drive located off South Street. McKenney Drive is curbed and has a sidewalk installed. Three outstanding items are listed below.

1. As-Built (on paper & mylar) & electronic copy for our GIS office
To be completed prior to Council Acceptance
2. Draft Deeds/tax forms
To be completed prior to Council Acceptance
3. Final Paving:
McKenney Drive has received final paving. Although the air temperature on the day of paving met the 50 degree F requirement, since the paving date was after the October 15th deadline for the installation of final paving, the applicant will place a 1 year performance guarantee on the pavement for one year to ensure against failure or deterioration.
4. Catch Basin Cleaning of sumps as may be required
To be completed prior to Council Acceptance

Currently, the City has a letter of credit from Indian Cliff Development Corp for \$15,000, which the City would release once all outstanding items have been addressed by the applicant and upon 1 year of satisfactory pavement performance.

The owner shall submit to the Engineering office prior to Council acceptance an as-built plan (on paper & mylar and an electronic copy for our GIS office), draft/final street deeds and tax forms.

Staff would recommend this street be forwarded to the City Council for formal acceptance conditioned upon Items 1, 2 and 4 being addressed prior to being placed on a Council agenda. Additionally, the City will retain a \$15,000 performance guarantee for the item 3 listed.

Cc: Indian Cliff Development Corp
BH2M -- Engineer
Public Works – Guy Casavant & Ray Parent
City Planner -- Greg Tansley
City Manager – James Bennett
File